



City of Albuquerque

PLANNING DEPARTMENT

Richard J. Berry, Mayor

Interoffice Memorandum

March 28, 2014

To: Ken Sanchez, President, City Council

From: Richard J. Berry, Mayor 

Subject: **Project# 1008444 - 13EPC-40160** the Environmental Planning Commission (EPC) forwards a recommendation of **APPROVAL** to the City Council for the Text Amendment to Volcano Trails Sector Development Plan for all of Volcano Trails, zoned SU-w/VTVC/VTUR/VTURD/VTSL/VTML/RD located near Paseo del Norte and Woodmont avenue between Major Public Open Space and Universe boulevard, containing approximately 446 acres. (C-8 & 9) Staff Planner: Mikaela Renz-Whitmore

At its February 13, 2013 hearing, the Environmental Planning Commission (EPC) voted to forward a recommendation of Approval to the City Council to amend the text of the 2011 Volcano Trails Sector Development Plan (VTSDP). These amendments include:

- 1) Updating the transportation network map to be consistent with Volcano Heights SDP and to change the designation of Woodmont Avenue from a collector to a minor arterial, as requested by a property owner and supported by the Planning Department and the Department of Municipal Development.
- 2) Fixing the zoning map label for SU-2/VTRD (Volcano Trails Residential Developing Area) where it was colored correctly but labeled incorrectly.
- 3) Revising General Standards regarding solar equipment, utilities, residential garages, and plant lists to be consistent with the Volcano Heights SDP.
- 4) Revising General Regulations regarding color restrictions, plant lists, and grading to be consistent with Volcano Heights SDP.

Request & Purpose

The Planning Department initiated amendments to all plans within Volcano Mesa after completing the process to adopt the third and final sector development plan. Many of the proposed amendments address inconsistencies among the three plans, since standards that started out the same in the plans were revised and refined with each Plan's adoption, beginning with Volcano Cliffs in May 2011 and ending with Volcano Heights in August 2013. Additional amendments address inadvertent errors or unintended consequences that were discovered as staff worked with various development proposals in Volcano Mesa. The proposed text amendments are intended to clarify standards in the plan and strengthen their ability to lead to intended development outcomes.

The EPC Staff Report provides a detailed presentation of which elements of the Plan are proposed for amendment and the policy justification for each change. Changes proposed by staff or by the EPC during the February hearing as Conditions of Approval are included as redline items in a draft prepared for the

Land Use, Planning, and Zoning (LUPZ) Committee. Changes recommended by staff subsequent to the EPC hearing are noted in blue.

EPC Actions

At the EPC hearing, discussion focused on the following issues: (1) providing safe bicycle facilities on multimodal roads within Volcano Mesa, (2) strengthening fugitive dust mitigation measures while ensuring their workability for all types of development, and (3) working with stakeholders to finalize residential garage standards. The first two issues were addressed in the Conditions of Approval and show up as red in the LUPZ draft for Council review, referenced in the proposed resolution to adopt these amendments. The third issue was addressed by staff and included in the LUPZ draft in blue.

Neighborhood Input

An agent for a major property owner in Volcano Trails testified at the EPC hearing and generally supported the proposed amendments. Additional requests for changes were submitted after the hearing, considered by staff, and included in the LUPZ Blueline draft for Council review, where advisable. All written comments received to date are included in the submittal packet for Council review.

Conclusion

The Environmental Planning Commission (EPC) voted 5-0 to recommend that an Approval recommendation be forwarded to the City Council. There is no other known opposition to these amendments.

Staff concludes that the proposed text amendments to the 2011 VTSDP do not conflict with applicable goals and policies of the Comprehensive Plan and the overarching intent of the City Charter and the Zoning Code and are not in conflict with the intent and purpose of the Volcano Trails Sector Development Plan.

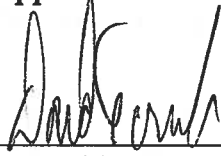
Title/ Subject of Legislation: Subject: Project# 1008444 –13EPC-40160, Text Amendment to the Volcano Trails Sector Development Plan


Approved:



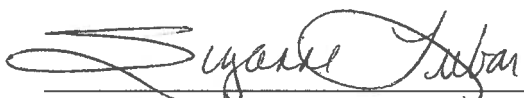
Robert J. Perry 6/5/14
Chief Administrative Officer Date

Approved as to Legal Form:



David Tourek 5/28/14
City Attorney Date


Recommended:



Suzanne Lubar 3/29/14
Director Date

Cover Analysis
Project 1008444 –13EPC-40160

1. What is it?

Text amendments to the 2011 Volcano Trails Development Plan (VTSDP) to update the road network for Volcano Mesa, make standards consistent where intended among the three sector development plans in Volcano Mesa, and address errata and unintended consequences of adopted standards.

2. What will this piece of legislation do?

Amend the VTSDP to clarify and improve standards and increase consistency among Volcano Mesa plans.

3. Why is this project needed?

To provide clarity and remove inconsistencies, errata, and unintended consequences that may hamper desired development.

4. How much will it cost and what is the funding source?

These text amendments have no cost associated with their implementation. (See attached Fiscal Impact Analysis)

5. Is there a revenue source associated with this Plan? If so, what level of income is projected?

This legislation only amends the text of the VTSDP. Because there is no cost associated with implementation, there is no associated revenue source needed.

FISCAL IMPACT ANALYSIS

TITLE: Text Amendments to the Volcano Trails Sector Development Plan

R: O:

FUND: 110

DEPT: 4926000

- ☒ No measurable fiscal impact is anticipated, i.e., no impact on fund balance over and above existing appropriations.
- ☐ (If Applicable) The estimated fiscal impact (defined as impact over and above existing appropriations) of this legislation is as follows:

	2014	Fiscal Years 2015	2016	Total
Base Salary/Wages				-
Fringe Benefits at	-	-	-	-
Subtotal Personnel	-	-	-	-
Operating Expenses				-
Property			-	-
Indirect Costs 21.50%	-			-
Total Expenses	\$ -	\$ -	\$ -	\$ -
<input type="checkbox"/> Estimated revenues not affected				
<input checked="" type="checkbox"/> Estimated revenue impact				
Amount of Grant	-			-
City Cash Match	-	-	-	-
City Inkind Match		-	-	-
City IDOH *21.5%	-			-
Total Revenue	\$ -	\$ -	\$ -	\$ -

These estimates do not include any adjustment for inflation.

* Range if not easily quantifiable.

Number of Positions created 0

COMMENTS: This is a request for text amendments to the 2011 Volcano Trails Sector Development Plan (VCSDP) to update the road network for Volcano Mesa, make standards consistent where intended among the three sector development plans in Volcano Mesa, and address errata and unintended consequences of adopted standards.

COMMENTS ON NON-MONETARY IMPACTS TO COMMUNITY/CITY GOVERNMENT:

Text amendments to the Volcano Trails Sector Development Plan will have no fiscal impact on the City of Albuquerque.

PREPARED BY:

APPROVED:

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FISCAL MANAGER (date)

Suzanne J. Jarama 4/1/14
DIRECTOR (date)

REVIEWED BY:

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CITY ECONOMIST (date)
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Environmental Planning Commission

Agenda Number: 06
Project Number: 1008444
Case #s: 13EPC-40160
February 13, 2014

Staff Report

Agent	COA, Planning Department
Applicant	City of Albuquerque
Request(s)	Recommend Approval of Text Amendments to the Volcano Trails Sector Development Plan (SDP)
Legal Description	See attached map
Location	Area boundaries are Universe Boulevard to the east; Volcano Cliffs SDP to the south; vacant Bernalillo County land to the west; and Paseo del Norte to the north.
Size	Approximately 446 acres
Existing Zoning	As identified in the Plan

Staff Recommendation

Recommendation of APPROVAL of 13EPC-40160 be forwarded to the City Council, based on the Findings beginning on Page 16 and subject to the Conditions beginning on Page 18.

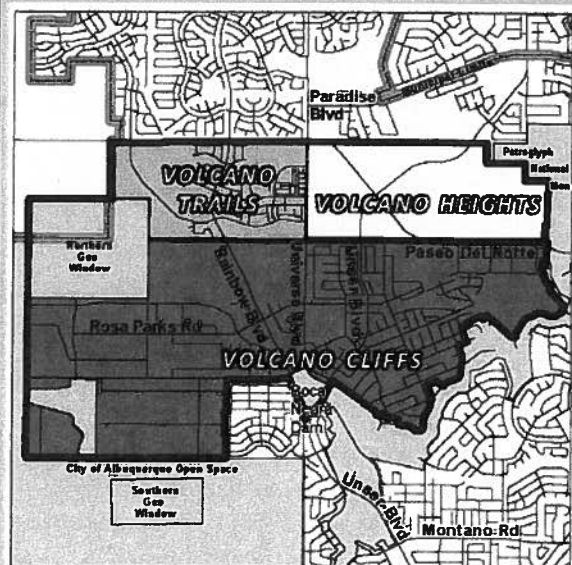
Staff Planner

Mikaela Renz-Whitmore, Planner

Summary of Analysis

The Planning Department requests an Environmental Planning Commission (EPC) recommendation to City Council to approve text amendments to the Volcano Trails Sector Development Plan (SDP).

The Volcano SDPs address the same unique site context related to the Petroglyph National Monument and are addressed together in the Rank 2 West Side Strategic Plan Volcano Mesa amendment, adopted in 2011. Volcano Trails SDP was the second of the three SDPs to be adopted, in August 2011. Some of its regulations were refined in the Volcano Heights SDPs (adopted in August 2013), and development since the plan's adoption has illuminated the need to clarify and adjust some regulations that were leading to unintended results. The requested text amendments would adopt these refinements and provide consistency across the three plans where intended, simplifying the application of regulations and strengthening enforcement efforts.



City Departments and other interested agencies reviewed this application from 12/30/2013 to 01/10/2014.
Agency comments used in the preparation of this report begin on Page 19.

I. INTRODUCTION

Request

The City of Albuquerque Planning Department requests amendments to the Volcano Trails Sector Development Plan (VCSDP) to reflect updates made to similar regulations in the Volcano Heights Sector Development Plan. No zone changes for individual properties are involved; rather, standards and regulations would affect all properties within a particular zone in the case of updates to zone categories and to all properties within the Plan area in the case of updates to general standards and regulations.

The proposed changes include:

- 1) Updating the transportation network map to be consistent with Volcano Heights SDP.
[NOTE: See also public comments for a request to change the designation of Woodmont Avenue from a collector to a minor arterial, which the Planning Department supports.].
- 2) Fixing the zoning map label for VTRD where it was colored correctly but labeled incorrectly.
- 3) Revising General Standards regarding solar equipment, utilities, residential garages, and plant lists to be consistent with the Volcano Heights SDP.
- 4) Revising General Regulations regarding color restrictions, plant lists, and grading to be consistent with Volcano Heights SDP.

Purpose/Intent

This request is a Planning Department-led initiative to fix original errors in the document and update regulations, standards, graphics, and maps to be consistent with subsequent revisions made in the Volcano Heights SDP, adopted in August 2013. These amendments are intended to adopt improvements made in subsequent planning efforts to regulations first adopted in Volcano Cliffs SDP as well as to provide consistency where intended across the three Volcano SDPs, which simplifies development conditions and helps the Planning Department to successfully enforce all three plans.

Environmental Planning Commission (EPC) Role

The EPC's role in this case is quasi-judicial, as amendments will affect zoning regulations for all properties. The EPC is a recommending body for text amendments to Sector Development Plans, which are officially adopted by the City Council.

II. PROPOSED TEXT AMENDMENTS

Note: Please see redline version of the proposed Plan draft amendments in Attachment A. Staff analysis is provided in ***bold italics***.

- 1) On page 7: Update road network map with Primary Streets and intersections as adopted in the Volcano Heights SDP.

- *Following the original intent of the Volcano plans, this change provides a consistent road network for Volcano Mesa, incorporating streets in the Volcano Heights SDP as well as updates made to access points on the limited-access Paseo del Norte and Unser Boulevard through the Metropolitan Planning Organization.*
- 2) On page 24: Fix the label for the area west of Rainbow Blvd. and south of Woodmont Ave. colored light orange. The color of the map correctly designates the area as SU-2/VTRD, but the label is incorrect as "RD."
- *This change fixes an inadvertent error in the original Plan.*
- 3) On page 40: Add language exempting solar panels from height restrictions.
- *Height restrictions were intended to limit building height. Solar panels are becoming more common, but they are not yet addressed by the City Zoning Code or this sector plan. The technology is changing fairly rapidly, and it is difficult to anticipate how solar equipment might interface with buildings in the near future. The proposed amendment is intended to clarify that solar panels do not count toward building height*
- 4) On page 43: Replace Exhibit 16 with updated graphic from PNM in VHSDP (Appendix A-39).
- *The map of existing electric facilities in was updated to reflect projects completed after VTSDP's adoption in 2011. [NOTE: See also agency comments for a request for further updates to the utility language to be consistent with VHSDP.]*
- 5) On pages 46-47: Replace Section 5. Residential Garages in its entirety with language, table, and graphics from Section 7.7 in VHSDP (pages 127-128).
- *Residential garage text and diagrams were revised further for Volcano Heights SDP, partly in response to comments received by developers in Volcano Cliffs and Volcano Trails. The revisions are largely to clarify intent and measurements, as well as reworking graphics to be more understandable as illustrative diagrams (not to scale).*
- 6) On page 52: Revise Section C. LANDSCAPE DESIGN STANDARDS 11. Appropriate Planting Lists to be compatible with the updated Plant Lists via VHSDP (pgs. 153-156).
- *The Native and Xeric plant lists were thoroughly revised and consolidated into one list by the City Parks and Recreation and Open Space Division during the Volcano Heights planning process, removing plants no longer available commercially and invasive species no longer desired in this area, as well as reorganizing the lists by planting type to be more user-friendly.*

- 7) On page 56: "In any residential area" to extend color restrictions to all buildings in Volcano Trails. Add a limit of 20% of the façade area for accent colors per VHSDP Section 7.5.2 (pg. 126).
- *When adopted in 1989, the Northwest Mesa Escarpment Plan (NWMEP) set regulations about color restrictions in the area that now covers all three Volcano plans. According to the National Park Service and City Open Space Division, it was their intent to restrict color on residential buildings, including walls and roofs, although the final regulations only pertain to roof color. Further, when it was developed, the NWMEP envisioned primarily residential development in this area, as the zoning was predominantly for single-family uses at that time. Now that the Volcano plans have diversified zoning to include nodes of non-residential and mixed-use activity, the restrictions on color are proposed to be extended to these types of development in order to ensure that the original intent of the NWMEP – that development be visually compatible with the natural environment – is still met. The color restrictions are intended to preserve views into and from the nearby Petroglyph National Monument and City Major Open Space, as well as to the area from east of the Rio Grande, by minimizing the visual impact of development.*
- 8) On pages 57-61, delete the plant lists entirely, renumber subsequent sections, and update cross references accordingly.
- *The plant lists will now be in organized tables with the associated landscape regulations in General Standards. See #6 above.*
- 9) On page 62, Standard CM-1, revise language to include mixed-use and residential developments over two lots to the restriction on issuing grading permits concurrently with building permits. Delete the second sentence entirely, as it overlaps unnecessarily with existing procedures under the jurisdiction of Environmental Health. Add the following sentence in its place: "Applicants shall provide proof of a fugitive dust permit from Environmental Health prior to being issued a grading permit. If any soil stabilization is proposed, straw crimp plus seeding is the preferred method, due to the area's proximity to the Petroglyph National Monument and the importance of protecting petroglyphs from fugitive dust."
- *Fugitive dust is a growing problem on the West Side and is particularly urgent near the Petroglyph National Monument. This change enhances fugitive dust protections by restricting pre-mature grading for residential and mixed-use developments, as well as tying the issuance of grading permits to both a building permit and a fugitive dust permit from Environmental Health. Development currently requires a fugitive dust permit prior to any grading; this regulation attempts to reinforce oversight to ensure that applicants have proper mitigation measures planned prior to grading. Because Environmental Health already has jurisdiction over fugitive dust enforcement after grading begins, this amendment proposes to remove a redundant and potential ineffectual requirement for soil stabilization three months after grading for commercial development. [NOTE: Includes language added post-redline based on collaboration with City Environmental Health.]*

III. BACKGROUND AND HISTORY

Context

Volcano Trails is one of three sector development plan areas in Volcano Mesa, a community planning area that covers approximately 3,532 acres. Volcano Mesa is uniquely situated, surrounded on three sides by more than 7,000 acres of open space under City, State and Federal jurisdictions, including the Petroglyph National Monument, set aside by the U.S. Congress in 1990.

Volcano Mesa's unique cultural and natural context form an important policy consideration to ensure that development is sensitive and responsive to the area's sensitive lands and natural and cultural assets.

The Volcano Trails Sector Development Plan (SDP) covers approximately 446 acres west of Universe Boulevard and south of Paseo del Norte. The Plan area is approximately 40% developed with residential subdivisions. The land was owned historically by one master developer – Longford Homes.

Single-family residential development exists to the north in Ventana West. Some commercial activity exists northeast of the Plan area surrounding Paradise Blvd. Special Assessment District 228 is actively building infrastructure to support development to the south in Volcano Cliffs.

Topography varies throughout the Plan area, and there are significant views to Sandia Peak to the east. There are several basalt rock outcroppings scattered throughout the Plan area, connected by an open space corridor, which also includes several small neighborhood parks. These rock outcroppings are related to nearby volcanic activity that formed the Northwest Mesa Escarpment. The outcroppings have cultural, historical, and geological significance, as they are part of a unique landscape and a rich heritage of spiritual use by Pueblo peoples.

Surrounding zoning, plan designations, and land uses:

	<i>Zoning</i>	<i>Comprehensive Plan Area; Applicable Rank II & III Plans</i>	<i>Land Use</i>
<i>Site</i>	SU-2/VTVC SU-2/VTUR SU-2/VTRD SU-2/VTSL SU-2/VTML SU-2/RD SU-2/VT Open Space	Developing Urban, Westside Strategic Plan Northwest Mesa Escarpment Plan	Vacant, Residential, Park
<i>North</i>	RLT	Established Urban, WSSP, NWMEP	Residential- Single family
<i>South</i>	RO-20	Reserve, WSSP, NWMEP	School site, State land
<i>East</i>	SU-2/VHVC SU-2/VHMX SU-2/VHNT	Developing, WSSP, NWMEP	Vacant
<i>West</i>	A1 County and SU1 for Major Public Open Space	Developing, WSSP, NWMEP	Petroglyph National Monument (North Geologic Window) and Vacant

Transportation System

The Long Range Roadway System (LRRS) map, produced by the Mid-Region Council of Governments (MRCOG), identifies the functional classifications of roadways.

The LRRS designates Unser and Paseo del Norte as a Limited-Access Principal Arterials, with rights-of-way of 156 feet.

The Long Range Roadway System designates Universe as a Minor Arterial, with a right-of-way of 86 feet.

The Long Range Roadway System designates Rainbow as a Principal Arterial, with a right-of-way of 124' (Established & Developing Urban) or 156' (elsewhere).

Comprehensive Plan Corridor Designation

The Albuquerque/Bernalillo Comprehensive Plan designates Paseo del Norte and Unser Boulevard as Proposed Express Corridors.

Trails/Bikeways

A bike trail and or lane are proposed for Paseo del Norte and Unser. A bike trail is shown on Gila Road on the MRCOG Long Range Bikeway map.

Transit

The MRCOG High Capacity Transit map shows Paseo del Norte and Unser as Potential High Capacity Transit Corridors.

History

In 2004, the Albuquerque City Council initiated a planning process for the Volcano Mesa, an area annexed by the City in 1981. Located along the volcanic escarpment of the city's Northwest Mesa, Volcano Mesa includes unique features and special characteristics and conditions worthy of preservation and protection.

In 2006 City Council adopted the Volcano Heights Sector Development Plan, which encompassed the Volcano Mesa area; however, the Plan was challenged in District Court and ultimately remanded to the City in 2008/9.

In 2010, the Planning Department and City Council staff separated the Volcano Mesa into three separate Sector Development Plans (SDPs) and an amendment to the West Side Strategic Plan (WSSP). Taken together, the Rank II Volcano Mesa Amendment and the three Rank III Sector Development Plans create recommendations, goals, policies, and new land-use regulations to guide the development of the unique Volcano Mesa community.

- The Volcano Mesa Amendment to the WSSP was adopted in February.
- Volcano Cliffs SDP was adopted by City Council on May 2, 2011.
- Volcano Trails SDP was adopted by the City Council on August 15, 2011.
- Volcano Heights SDP was adopted by City Council on August 5, 2013.

The Volcano Mesa amendment, Volcano Cliffs SDP, and the Volcano Trails SDP each included a map showing the proposed transportation network within Volcano Mesa. Volcano Heights SDP made several changes impacting this map, including (1) revised street alignments, (2) new cross sections, and (3) new intersections on Paseo del Norte and Unser Boulevard. These changes needed to be reflected in the map in each of the plans.

The proposed amendments also include several issues have been uncovered in reviewing prospective development proposals and preparing training materials for Planning Staff that warrant updates to ensure high quality development and consistent enforcement of Plan regulations.

The reader is encouraged to review all the specific, recommended changes in the red-line version of the Plan, provided as Attachment A.

IV. ANALYSIS OF APPLICABLE ORDINANCES, PLANS, AND POLICIES

Note: Policy citations are in regular text; staff analysis is in ***Bold Italics***.

Charter of the City of Albuquerque

The Citizens of Albuquerque adopted the City Charter in 1971. Applicable articles include:
Article I, Incorporation and Powers

“The municipal corporation now existing and known as the City of Albuquerque shall remain and continue to be a body corporate and may exercise all legislative powers and perform all functions not expressly denied by general law or charter. Unless otherwise provided in this Charter, the power of the city to legislate is permissive and not mandatory. If the city does not legislate, it may nevertheless act in the manner provided by law. *The purpose of this Charter is to provide for maximum local self government.* A liberal construction shall be given to the powers granted by this Charter.” (emphasis added)

Article IX, Environmental Protection

“The Council (City Commission) in the interest of the public in general shall protect and preserve environmental features such as water, air and other natural endowments, ensure the proper use and development of land, and promote and maintain an aesthetic and humane urban environment. To affect these ends the Council shall take whatever action is necessary and shall enact ordinances and shall establish appropriate Commissions, Boards or Committees with jurisdiction, authority and staff sufficient to effectively administer city policy in this area.”

Clarification of a sector development plan is an exercise in local self-government and falls within the City’s powers (City Charter, Article I). The text amendments of the VHSDP “ensure the proper use and development of land, and promote and maintain an aesthetic and humane urban environment.” (City Charter, Article IX).

Staff finds that the request is consistent with the City Charter.

Albuquerque Comprehensive Zoning Code

Authority and Purpose (summarized): The Zoning Code is Article 16 within Chapter 14 of the Revised Code of Ordinances of Albuquerque, New Mexico, 1994 (often cited as ROA 1994). The administration and enforcement of the Zoning Code is within the City’s general police power authority for the purposes of promoting the health, safety, and general welfare of the public. As such, the Zoning Code is a regulatory instrument for controlling land use activities for general public benefit.

Amendment Process (summarized): The City Council is the zoning authority for the City of Albuquerque and has sole authority to amend the Zoning Code. Through the City Charter, the City Council has delegated broad planning and zoning authorities to the Environmental Planning

Commission (EPC). The EPC is advisory to the City Council regarding proposed text amendments to the Zoning Code.

The VTSDP is an extension of the Zoning Code through its SU-2 zones; therefore, amendments made to a sector plan's zoning are an amendment made to zoning regulations and are reflected as amendments to the zoning ordinance. The zoning ordinance is codified in the Zoning Code with extensions of modified regulations for unique areas in sector plans. Thus, these text amendments to the VTSDP are amendments to the zoning ordinance. There is no change to the zoning map.

The proposed text amendments generally further the intent of the Zoning Code to promote the health, safety and general welfare of the public because it will facilitate appropriate development of the City's West Side. As the zoning authority for the City of Albuquerque, the City Council will make the final determination on any proposed amendment to the VTSDP.

Rank 1 Albuquerque / Bernalillo County Comprehensive Plan

The Comprehensive Plan, the Rank I planning document for the City, contains goals and policies that provide a framework for development and service provision. The Plan's goals and policies serve as a means to evaluate development proposals and requests for text amendments.

The Rank 3 Volcano Trails Sector Development Plan includes areas designated as Developing and Established Urban by the *Comprehensive Plan*. Applicable policies include:

II.B.5 DEVELOPING AND ESTABLISHED URBAN AREAS: The goal is to create a quality urban environment, which perpetuates the tradition of identifiable, individual but integrated communities within the metropolitan area and which offers variety and maximum choice in housing, transportation, work areas, and life styles, while creating a visually pleasing built environment.

II.B.5 Developing and Established Urban Areas, Policy d: The location, intensity, and design of new development shall respect existing neighborhood values, natural environmental conditions and carrying capacities, scenic resources, and resources of other social, cultural, and recreational concern.

The proposed text amendments include extending color restrictions to mixed-use and commercial development in order to minimize the visual impact of development on the natural environment and add restrictions to mixed-use and large residential development in order to limit fugitive dust near the Petroglyph National Monument.

II B 5 Developing and Established Urban Areas, Policy k: Land adjacent to arterial streets shall be planned to minimize harmful effects of traffic; livability and safety of established residential neighborhoods shall be protected in transportation planning and operation.

The Volcano Mesa amendment to the WSSP contains policy 3.110, calling for the adoption of a road network map to plan for adequate connections between residential areas and surrounding non-residential development. The proposed amendments seek

to update the road network map to reflect changes in Volcano Heights. Further, proposed amendments update the series of cross sections showing how different roads should be planned within that road network. The cross sections are carefully assigned to street designations so that the streets and proposed land uses are compatible. The majority of streets include planting strips and wide sidewalks and trails to create a safe and attractive pedestrian, bicycling and driving environment.

II B 5 Developing and Established Urban Areas, Policy m: Urban and site design which maintains and enhances unique vistas and improves the quality of the visual environment shall be encouraged.

The proposed amendment would extend current color restrictions on residential areas to all development in Volcano Trails. This regulation is intended to minimize the impact of the built environment on views from the Petroglyph National Monument as well as views to the area from east of the Rio Grande.

II.B.1 OPEN SPACE NETWORK: The goal is to provide visual relief from urbanization and to offer opportunities for education, recreation, cultural activities, and conservation of natural resources by setting aside Major Public Open Space, parks, trail corridors, and open areas throughout the Comprehensive Plan area.

II B 1 Open Space, Policy c: Development in or adjacent to the proposed Open Space network shall be compatible with open space purposes.

Extending color restrictions to all development in Volcano Trails is intended to minimize the impact of the built environment on Major Public Open Space, including the Petroglyph National Monument. Revision to the plant list simplifies its use and ensures plantings of native and xeric species appropriate to this unique context.

II.B.1 Open Space, Policy d: The City and County shall preserve the volcanoes, key portions of the basalt flow, and the escarpment as part of the Open Space network.

The proposed text amendment to enhance fugitive dust protections is intended to protect the Petroglyph National Monument. Revision to the plant list ensures plantings of native and xeric species appropriate to this unique context.

II.B.7 ACTIVITY CENTERS: The goal is to expand and strengthen concentrations of moderate and high-density mixed land use and social/economic activities that reduce urban sprawl, auto travel needs, and service costs, and which enhance the identity of Albuquerque and its communities.

II B 7 Activity Centers: The Goal is to expand and strengthen concentrations of moderate and high-density mixed land use and social/economic activities which reduce urban sprawl,

auto travel needs, and service costs, and which enhance the identity of Albuquerque and its communities.

The proposed amendments to the transportation network help to coordinate land use and transportation near the Volcano Heights Major Activity Center and Volcano Cliffs Neighborhood Activity Center, as well as to support the zoning scheme within Volcano Trails, which includes zones with varying residential densities surrounding two Village Center zones.

Woodmont Avenue is proposed to change designations from a Collector to a Minor Arterial between Paseo del Norte and Rainbow Boulevard to enhance the connectivity of this area with the surrounding regional transportation network.

Currently, the Interim Long Range Roadway System (ILRRS) designates Woodmont a principal arterial (156 foot right-of-way). The Mid Region Council of Governments (MRCOG) is currently being updated. Staff is in discussions with MRCOG, Transportation Planning, and Department of Municipal Development staff to ensure coordinated planning efforts. The Volcano Mesa roadway network map needs to reflect the LRRS, including existing roadway portions and planned capacity on a regional basis.

Staff is also working to ensure that the cross section include multi-modal accommodations to create the high level of walkability and connectivity envisioned by the plan. This can be done through the proper street designation as well as through a possible addendum in the LRRS map noting the requested right-of-way in the Volcano Trails segment. There are three main reasons to limit the overall right-of-way on Woodmont:

- 1) Best practices for walkability argue for the narrowest roadway to ensure pedestrian comfort and to “tame” traffic. Drivers tend to slow on narrower roads, and pedestrians feel safer.*
- 2) The phenomenon of “induced demand” argues that wider roads actually create more congestion, since there is so much latent demand. The more convenient driving is, the more people drive, creating conditions that perpetually add to congestion.*
- 3) The segment of Woodmont currently constructed is approximately 96 feet, so consistency argues that newer portions should be similar in right-of-way.*

Planning for “complete streets” that accommodate pedestrians and cyclists, as well as drivers, coordinated with the land uses entitled by the zoning, provides opportunities to reduce sprawl, auto travel needs and provide retail, service and office needs closer to residences- proposed and existing.

II.C.8 DEVELOPED LANDSCAPE: The goal is to maintain and improve the natural and the developed landscapes’ quality.

II.C.8 DEVELOPED LANDSCAPE: The goal is to maintain and improve the natural and the developed landscapes' quality.

II.C.8 Developed Landscape, Policy a: The natural and visual environment, particularly features unique to Albuquerque, shall be respected as a significant determinant in development decisions.

As noted above, the proposed amendment restricting color to natural landscape shades is intended to ensure that development is consistent with the natural and visual environment next to the unique Petroglyph National Monument. Revision to the plant list ensures plantings of native and xeric species appropriate to this unique context. The proposed text amendment to enhance fugitive dust protections is intended to protect the Petroglyph National Monument.

II.C.9 COMMUNITY IDENTITY AND URBAN DESIGN: "The goal is to preserve and enhance the natural and built characteristics, social, cultural and historical features that identify Albuquerque and Bernalillo County sub-areas as distinct communities and collections of neighborhoods."

II C 9 Community Identity and Urban Design: The Goal is to preserve and enhance the natural and built characteristics, social, cultural and historical features that identify Albuquerque and Bernalillo County sub-areas as distinct communities and collections of neighborhoods.

II C 9 Community Identity and Urban Design, Policy b: (excerpted)

In each Community Area, strategic planning, neighborhood planning, development and redevelopment shall be evaluated in light of its relationship to and effect upon the following:

1) The natural environment

- Indigenous vegetation and other materials appropriate to landscapes.
- Topography and landscape features such as arroyos, the Rio Grande and bosque, the foothills and escarpments
- Soils and erosion potential
- Colors and textures of the natural environment
- Views

2) Built environment

- Road widths, sidewalks, curb cuts, medians
- Grain of streets/size of parcels
- Patterns of movement (e.g. pedestrian connections, access to transportation/transit)
- Landscaping materials, both planting and hardscape
- Relationship between built and natural environment

3) Local history

- Current and historic significance to Albuquerque

Several amendments pertain to this policy. Color restrictions help minimize the visual impact of development. Fugitive dust restrictions help protect the Petroglyph National Monument. Amendments to transportation standards ensure appropriate road widths and street configuration coordinated with abutting parcels. Revision to the plant list simplifies its use and ensures plantings of native and xeric species appropriate to this unique context.

II C 9 Community Identity and Urban Design, Policy e: Roadway corridors (collectors, arterials, Enhanced Transit and Major Transit) within each community and that connect the community's Activity Centers shall be designed and developed to reinforce the community's unique identity; streetscape improvements to these roadways shall be designed to:

- minimize water use
- screen parking areas
- create useful and attractive signage and building facades
- facilitate walking safety and convenience

Proposed transportation amendments help to ensure street designations appropriate to proposed land use throughout Volcano Mesa.

Rank 2 West Side Strategic Plan (WSSP) (Rank 2)

The *West Side Strategic Plan (WSSP)* was first adopted in 1997 and amended in 2002, 2009, and 2011. The WSSP area is bounded by the Sandoval County line on the north, the Rio Puerco Escarpment on the west, a line south of Gun Club Road (the Atrisco Grant line) on the south, and the Rio Grande on the east for areas north of Central, and Coors Boulevard on the east for areas south of Central. It encompasses over 96,000 acres of land, or approximately 150 square miles. Specific boundaries are shown on the Plan Boundary map on p.2 in the WSSP.

The *WSSP* identifies fourteen communities in established areas of the West Side that are partially developed and describes how community concepts can be applied. A Community is comprised of a Neighborhood Center(s) and Community Center(s), and the Plan outlines uses that should occur within the centers, as well as uses that should occur in areas adjacent to the centers. The WSSP emphasizes throughout its text the concept of commercial development in cluster configurations in contrast to the traditionally evolved strip commercial development. Applicable policies include:

WSSP Policy 3.99: Development in the Volcano Mesa area should recognize the sensitive ecological, historical, and cultural importance of the area, and future Rank III plans in the area should respect this in the following ways:

- Protect the narrow band of the Escarpment on the eastern edge of Volcano Mesa and maintain the views to and from the Escarpment;
- Establish design standards for developments built adjacent to the edge of open space that will be compatible visually and ecologically with the high desert landscape ...

- Protect view sheds from the North Geologic Window and the cones of the northern most Volcanoes to the Sandia Mountains and the Rio Grande;

The proposed amendments are intended to provide further protections from fugitive dust for the Petroglyph National Monument and ensure development compatible with adjacent open space and Escarpment by expanding color restrictions and simplifying plant lists.

WSSP Policy 3.103: Protection of archeological and cultural resources should be ensured... The Volcano Mesa area contains several sites of archeological significance, many of which (but not all) have been designated as Major Public Open Space. These Petroglyph and settlement sites tend to be concentrated within the Northern Geologic Window, in the large tract owned by the State of New Mexico, along arroyo corridors, on some rock outcroppings, and within the Monument.

As mentioned above, the proposed amendments are intended to provide further protections from fugitive dust for the Petroglyph National Monument and simplify the plant list to remove invasive species. .

Northwest Mesa Escarpment Sector Development Plan (Rank 3)

The Northwest Mesa Escarpment Sector Development Plan was first adopted in 1987 and amended in 1989. The Plan generally encompasses properties between Coors and Atrisco Vista Boulevards, the Bernalillo/Sandoval County Line, and I-40. It sets forth goals and policies regarding Escarpment face and the Volcanoes. Applicable policies include:

Policy 12. Structures shall not block views of the Escarpment or visually contrast with the natural environment.

Color restrictions are proposed to be extended to all development in Volcano Trails in order to minimize the visual impact of development. The range of possible colors is illustrated in an appendix in each plan.

Policy 20. The predominant colors used on structures within the View Area shall blend with the natural colors of the Mesa.

As noted above, color restrictions are proposed to be extended to all development to blend with the natural colors of the Mesa.

Policy 21. Structures above and below the escarpment shall not dominate the views of the Escarpment from the East side.

As noted above, proposed amendments extend color restrictions to all development in Volcano Trails in order to minimize the visual impact of development.

V. AGENCY & NEIGHBORHOOD CONCERNS

Reviewing Agencies/Pre-Hearing Discussion/ Neighborhood/Public

Staff has received letters from the property owners in the area and several agencies. There is no known opposition to the proposed amendments. See Attachment B for requests from property owners. Where appropriate, agency comments have been addressed in the conditions to revise the draft and/or the language of the proposed amendments.

One outstanding concern is the proper designation of roads within Volcano Mesa. There are several layers to this issue:

- (1) their proper designation per the Long Range Roadway System Map, which identifies a standard right-of-way width,
- (2) their proper street type per the Volcano Mesa transportation network map, and
- (3) their proper cross section configuration, tied to the street type.

MRCOG is currently revising the LRRS map and right-of-way standards. Discussions continue with Transportation Planning, MRCOG, and Department of Municipal Development staff. Proposed changes to the Volcano Mesa transportation network map are expected throughout the adoption process for these amendments.

VI. Conclusion

The Planning Department requests an Environmental Planning Commission (EPC) recommendation to City Council to approve text amendments to the Volcano Trails Sector Development Plan (SDP), based on the Findings starting on page 16 and subject to the Conditions of Approval starting on page 18.

Adopted in August 2011, the Volcano Trails SDP provides regulatory guidance for the development of the Trails, a 446-acre area originally master-planned by Longford Homes consisting of residential villages, parks, trails, and neighborhood retail and services.

The proposed changes include:

- 1) Updating the transportation network map to be consistent with Volcano Heights SDP.
[NOTE: See also public comments for a request to change the designation of Woodmont Avenue from a collector to a minor arterial, which the Planning Department supports.].
- 2) Fixing the zoning map label for VTRD where it was colored correctly but labeled incorrectly.
- 3) Revising General Standards regarding solar equipment, utilities, residential garages, and plant lists to be consistent with the Volcano Heights SDP.
- 4) Revising General Regulations regarding color restrictions, plant lists, and grading to be consistent with Volcano Heights SDP.

The most substantial amendment involves updating the transportation network map for Volcano Mesa and coordinating street designations with the Long Range Roadway System map, currently being updated by the Mid-Region Council of Governments. The correct designation of streets within Volcano Mesa will continue to be a significant point of discussion, and the transportation network map can be expected to change based on collaboration among MRCOG, Transportation Planning staff, and DMD.

The remaining proposed amendments are minor in scope – either fixing original errors in the Plan or providing additional clarity and/or consistency among the other Volcano plans. The amendments further multiple policies of other ranked plans. There is no known opposition from either neighbors or property owners. All public comments received are included as Attachment B.

FINDINGS - 13EPC 40160, February 13, 2014. Recommendation of approval of text amendments to the Volcano Trails Sector Development Plan.

1. The Volcano Trails Sector Development Plan (VTSDP) covers an area of approximately 446 acres. The plan boundaries are Universe Boulevard to the east; State land, APS school sites and the North Geologic Window to the south; vacant Bernalillo County land to the west; and Paseo del Norte to the north.
2. This plan is one of three distinct but related sector development plans intended to guide future development in the larger Volcano Mesa Community. The other two plans are the Volcano Heights and Volcano Cliffs Sector Development Plans. The three plans share similar policy underpinnings that are included in a companion amendment to the Rank II, West Side Strategic Plan (WSSP).
3. Volcano Trails Sector Development Plan currently contains the following zoning: SU-2/VTVC (Volcano Trails Village Center); SU-2/VTRD (Volcano Trails Residential Developing area), SU-2/VTUR (Volcano Trails Urban Residential); SU-2VTSL (Volcano Trails Small Lot residential); SU-2/VTML (Volcano Trails Medium Lot residential). The Plan includes General Standards and General Regulations that are associated to varying degrees with all properties within the Volcano Trails SDP boundary.
4. The Zoning Map is not changed: proposed amendments only affect design standards and do not change zoning or land uses for any property; therefore, they are not subject to R-270-1980 analysis. There is no known opposition from neighbors or property owners.
5. The Albuquerque/Bernalillo County Comprehensive Plan, West Side Strategic Plan, Volcano Trails Sector Development Plan, Northwest Mesa Escarpment Plan, etc. and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
6. The proposed text amendments are consistent with the City Charter, which empowers the City to ensure proper land use and development (City Charter, Article I and support a high-quality urban environment (City Charter, Article IX).
7. The VTSDP is an extension of the Zoning Code through its SU-2 zones; therefore, amendments made to a sector plan's zoning are an amendment made to zoning regulations and are reflected as amendments to the zoning ordinance but do not amend the Zoning Map. The proposed text amendments generally further the intent of the Zoning Code to promote the health, safety and general welfare of the public because it will facilitate appropriate development of the City's West Side.

-
8. Amendments to the transportation standards support the following goals and policies in the Rank 1 Albuquerque/Bernalillo County Comprehensive Plan:
- a. II.B. 5 Developing and Established Urban Areas Policy k protecting livability and safety of residential neighborhoods and
 - b. II C 9 Community Identity and Urban Design Policy b protecting natural environment and improving built environment and Policy e matching street design to community identity.
9. The proposed amendments on color restrictions, fugitive dust, and plant lists support goals and policies in several ranked City Plans:
- a. Rank 1 Albuquerque/Bernalillo County Comprehensive Plan: II.B.5 Developing and Established Urban Areas Policy d protecting natural, social, cultural and recreational resources and Policy m protecting vistas and improving quality of visual environment; II.B.1 Open Space Policy c ensuring compatibility with open space network; II.C.8 Developed Landscape Policy a protecting significant features in natural and visual environment, and II.C.9 Community Identity and Urban Design Policy b protecting natural environment and improving built environment.
 - b. Rank 2 West Side Strategic Plan: Policies 3.99 and 3.103 protecting the Escarpment, view sheds, and cultural resources.
 - c. Rank 3 Northwest Mesa Escarpment Plan: Policies 12, 20, and 21 ensuring that development is compatible with the natural landscape by minimizing visual contrast.
10. There is no known opposition to these amendments.

RECOMMENDATION – 13EPC 40160, February 13, 2014

THAT A RECOMMENDATION OF APPROVAL BE FORWARDED TO THE CITY COUNCIL of 13EPC 40160, text amendments to the Volcano Trails Sector Development Plan, based on the preceding Findings and subject to the following Conditions.



**Mikaela Renz-Whitmore
Planner**

**CONDITIONS FOR RECOMMENDATION OF APPROVAL- Project # 1008444 13EPC-40160
February 13, 2014**

1. On page 7, Exhibit 6, in the Volcano Mesa roadway network map, change the symbol at the southern terminus of Transit Boulevard to indicate a full-access, signalized intersection. Delete “proposed” from the caption. [1]
2. On page 6, Exhibit 5 and page 7, Exhibit 6, change the designation of Woodmont Ave. to a minor arterial. [2] & [31]
3. On page 6, Exhibit 5, in the Volcano Mesa roadway network map, update the legend to delete “proposed” where it appears. [3]
4. On page 42, II – General Standards, Utilities, add a new section “3. General” as follows [32]:

3. General. Electric infrastructure is planned and constructed in response to new development. New electric transmission lines and multiple substations will be needed within the Volcano Mesa area to provide electric service once regional employment center development occurs. Substations typically require two-acre parcels of land. It may be necessary for substations to be located near the electric load in the Plan area. Transmission lines should be located along arterial streets, major drainage channels, non-residential collector streets and other potential corridors as directed by the Facility Plan: Electric System Transmission and Generation (2010-2020).
5. On page 62, Chapter 4 – General Regulations C – Construction Mitigation, replace Standard CM-1 with the language in Attachment C – Fugitive Dust Amendment. In Standard CM-4, delete the final sentence, which has been incorporated in the proposed amendment language. [4]

Attachments

- A – Redline Draft of Proposed Amendments**
- B – Public Comments**
- C – Fugitive Dust Amendment**

CITY OF ALBUQUERQUE AGENCY COMMENTS

PLANNING DEPARTMENT

Zoning Enforcement

No comment.

Office of Neighborhood Coordination

Paradise Hills, Petroglyph Estates, Ventana Ranch, Volcano Cliffs, Westside Coalition of NA's
1/9/14– Staff Planner to provide ONC with a NL article for the January/February 2014 issue.

Long Range Planning

The proposed changes help to clarify the regulations in the plans and to correct or add information. These changes will make the administration of the plans more efficient, because the requirements will be more clear.

CITY ENGINEER

Transportation Development Services (Planning Department):

No comments.

Traffic Engineering Operations (Department of Municipal Development):

No comments received.

Hydrology (Planning Department):

No comments.

DEPARTMENT of MUNICIPAL DEVELOPMENT

Transportation Planning

Reviewed, and there are no comments.

Street Maintenance:

No comments received.

ENVIRONMENTAL HEALTH DEPARTMENT

Air Quality Division

No comments received.

Environmental Services Division

EHD recommends adding language that clarifies the type of permit, and a citation to the regulation that requires the permit. Please see suggested changes below in blue.

Applicants shall provide proof of a 20.11.20 NMAC Fugitive Dust Control Permit from the Environmental Health Department prior to being issued a grading permit. If any soil stabilization is proposed, straw crimp plus seeding is the preferred method, due to the area's proximity to the Petroglyph National Monument and the importance of protecting petroglyphs from fugitive dust.

With regards to the language being acceptable, EHD's Fugitive Dust Enforcement Section has reviewed the proposed changes and determined there are no apparent conflicts between Planning's enforcement of the amended language in the Sector Development Plans and EHD's enforcement of 20.11.20 NMAC Fugitive Dust Control Permit.

Because our two departments have different enforcement authority, I appreciate you and your staff including EHD in the review and comment of any proposed language in the future where there might be overlap, so that both departments can avoid confusion and enforcement challenges.

Again, thank you for including EHD's input into the amendments to Planning's fugitive dust regulation.

PARKS AND RECREATION

Planning and Design

No comments received.

Open Space Division

No comments received.

City Forester

No comments received.

POLICE DEPARTMENT/Planning

No comments received.

SOLID WASTE MANAGEMENT DEPARTMENT

Refuse Division

Approved as long as it complies with the SWMD Ordinance and our requirements.

FIRE DEPARTMENT/Planning

No comments received.

TRANSIT DEPARTMENT

None.

COMMENTS FROM OTHER AGENCIES

BERNALILLO COUNTY

No comments received.

ALBUQUERQUE-BERNALILLO COUNTY WATER UTILITY AUTHORITY

Utility Services

No comments received.

ALBUQUERQUE METROPOLITAN ARROYO FLOOD CONTROL AUTHORITY

Reviewed, no comment.

ALBUQUERQUE PUBLIC SCHOOLS

The City of Albuquerque proposes several text amendments to the Volcano Trails Sector Development Plan (SDP). The plan area is located on Paseo del Norte and Universe between Major Public Open Space and Universe. The text amendments include; (1) updating transportation network map and standards to be consistent with Volcano Heights SDP, including adding cross section sand access modifications, Volcano Heights SDP, and Special Assessment District 228 to include the full transportation network within Volcano Mesa, (2) fixing the zoning map label for VTRD where it was colored correctly but labeled incorrectly (3) revising General Standards regarding residential garages and utilities to be consistent with the Volcano Heights SDP (4) revising General Regulations regarding plant lists, color restrictions, and grading to be consistent with Volcano Heights SDP.

APS schools that serve the plan area include Tierra Antigua Elementary, Sunset View Elementary, Tony Hillerman Middle School, James Monroe Middle School, Cibola High School, and Volcano Vista High School.

Currently, Tierra Antigua Elementary is exceeding capacity, Sunset View Elementary and James Monroe Middle School are nearing capacity, and Volcano Vista High School is at capacity. All other schools within the plan area currently have excess capacity. APS does not oppose this amendment.

Loc No	School	2013-14 40th Day	2013-14 Capacity	Space Available
389	Tierra Antigua ES	768	660	-108
393	Sunset View ES	583	660	77
492	Tony Hillerman MS	1006	1200	194
490	James Monroe MS	980	1000	20
580	Cibola HS	1864	2100	236
575	Volcano Vista HS	2200	2200	0

To address overcrowding at schools, APS will explore various alternatives. A combination or all of the following options may be utilized to relieve overcrowded schools.

- Provide new capacity (long term solution)
 - Construct new schools or additions
 - Add portables
 - Use of non-classroom spaces for temporary classrooms
 - Lease facilities
 - Use other public facilities
- Improve facility efficiency (short term solution)
 - Schedule Changes
 - Double sessions
 - Multi-track year-round
 - Other
 - Float teachers (flex schedule)
- Shift students to Schools with Capacity (short term solution)
 - Boundary Adjustments / Busing
 - Grade reconfiguration
- Combination of above strategies

All planned additions to existing educational facilities are contingent upon taxpayer approval.

MID-REGION COUNCIL OF GOVERNMENTS

No comments received.

MIDDLE RIO GRANDE CONSERVANCY DISTRICT

No comments received.

PUBLIC SERVICE COMPANY OF NEW MEXICO

Underlined text indicates added language and strike-through text indicates deleted language.

6. On page 42, II – General Standards, Utilities, add a new section “3. General” as follows:

3. General. Electric infrastructure is planned and constructed in response to new development. New electric transmission lines and multiple substations will be needed within the Volcano Mesa area to provide electric service once regional employment center development occurs. Substations typically require two-acre parcels of land. It may be necessary for substations to be located near the electric load in the Plan area. Transmission lines should be located along arterial streets, major drainage channels, non-residential collector streets and other potential corridors as directed by the Facility Plan: Electric System Transmission and Generation (2010-2020).

NEW MEXICO DEPARTMENT OF TRANSPORTATION

The NMDOT has no objections to the coordination among the plans which resulted in amendments to the West Side Strategic Plan, Volcano Trails Sector Development Plan, and the Volcano Cliffs Sector Development Plan.

Attachment A – Redline Draft of Proposed Amendments

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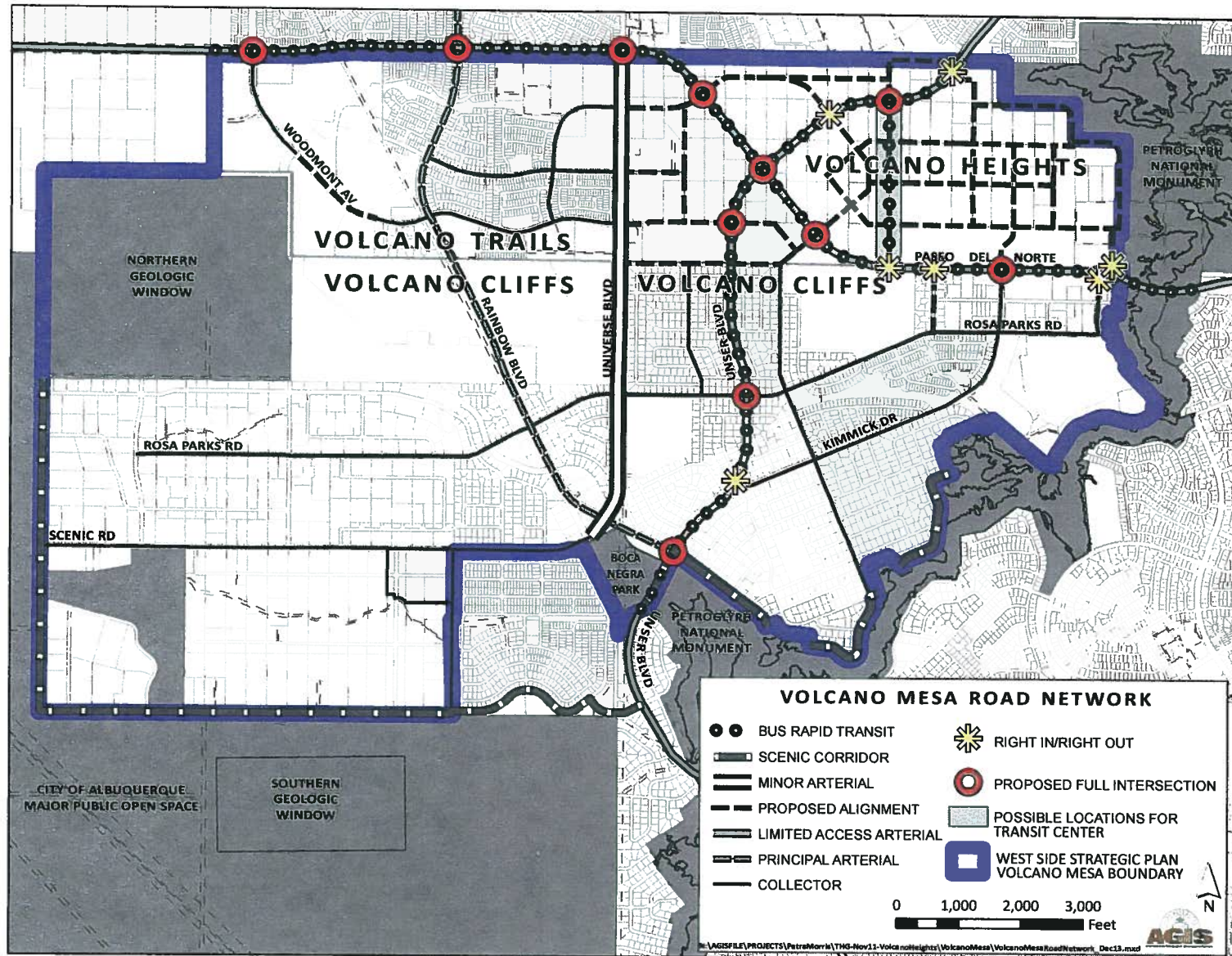


Exhibit 6, Proposed Volcano Mesa Road Network

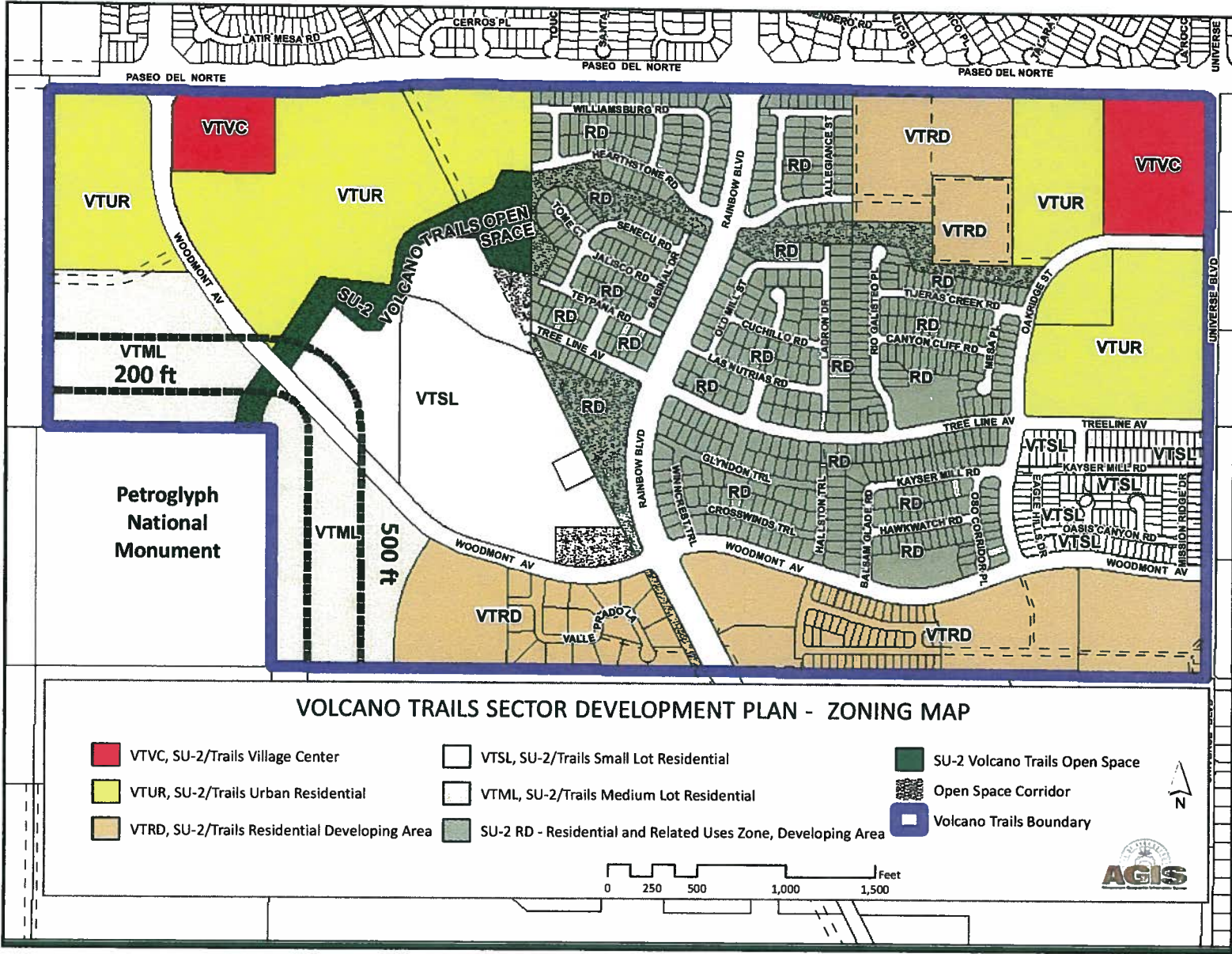


Exhibit 10, Zoning Established by the Volcano Trails Sector Development Plan

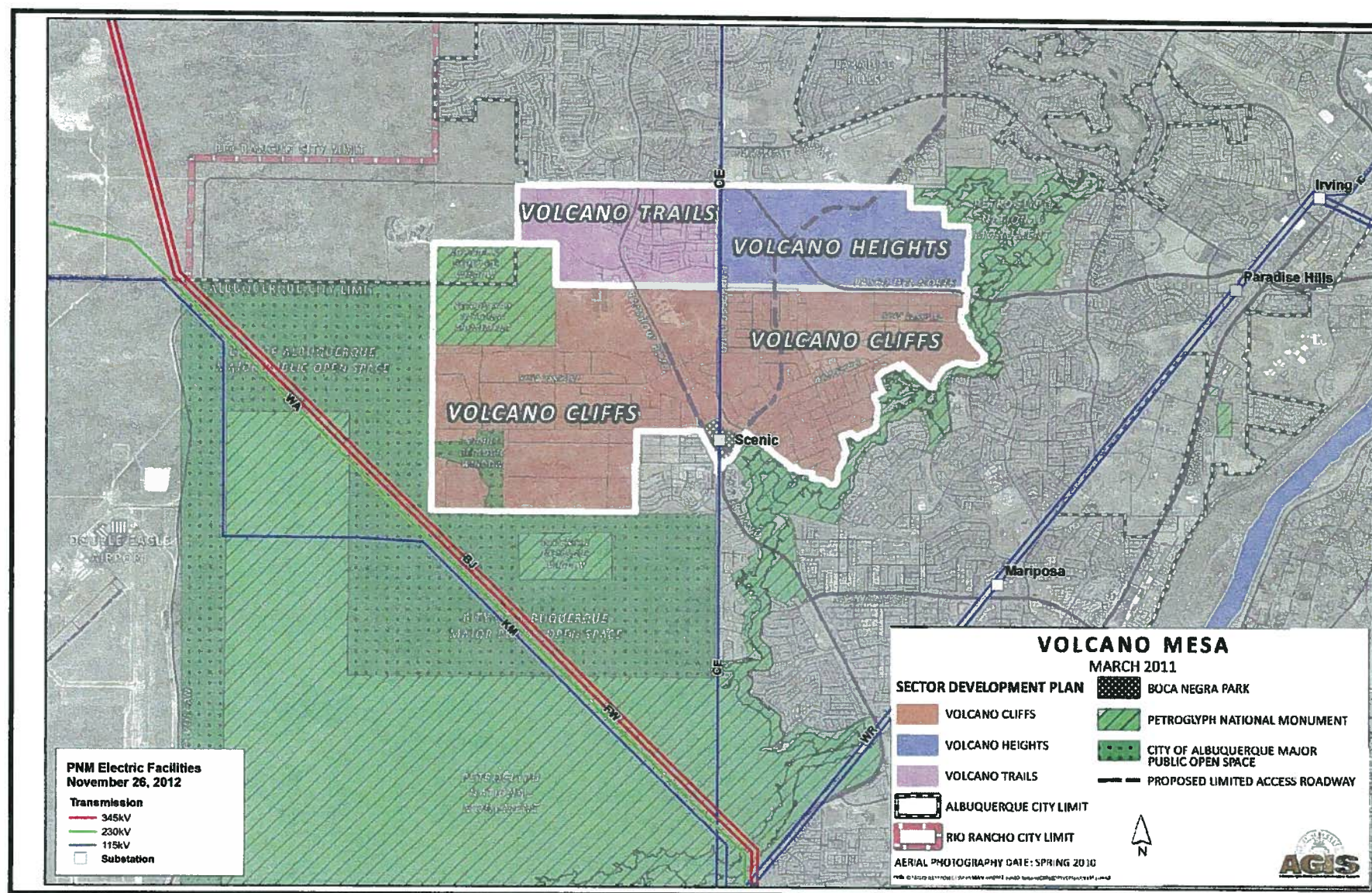


Exhibit 16, PNM Electric Facilities
[Updated to show Scenic facility]

Chapter 3

II – General Standards

- ~~8. **Residential Garages.** Garages shall not dominate the front façade. Street-fronting garages shall be per the requirements of **Table 3.** Garages shall not exceed 50% of the total front façade.~~
- ~~a. Garage doors shall be set back a minimum of 2 feet from the garage facade to create a “shadow box” that minimizes the prominence of the garage door.~~
 - ~~b. Three-car garages are not permitted on lots equal to or less than 48 feet wide. Three-car garages on lots greater than 48 feet wide shall have a third garage setback of 3 feet minimum from the primary garage façade.~~
 - ~~c. On lots less than 48 feet, property owners intending to build garages on the property lot line shall submit a platted and filed maintenance easement agreement signed by the adjacent property owner prior to being issued a building permit.~~
 - ~~d. The color of garage doors shall blend with or complement the exterior wall color in order to minimize the prominence of the garage door. See **B. Building Design Standards 9. Color** for additional requirements.~~
 - ~~e. See **Table 3** for additional garage requirements.~~

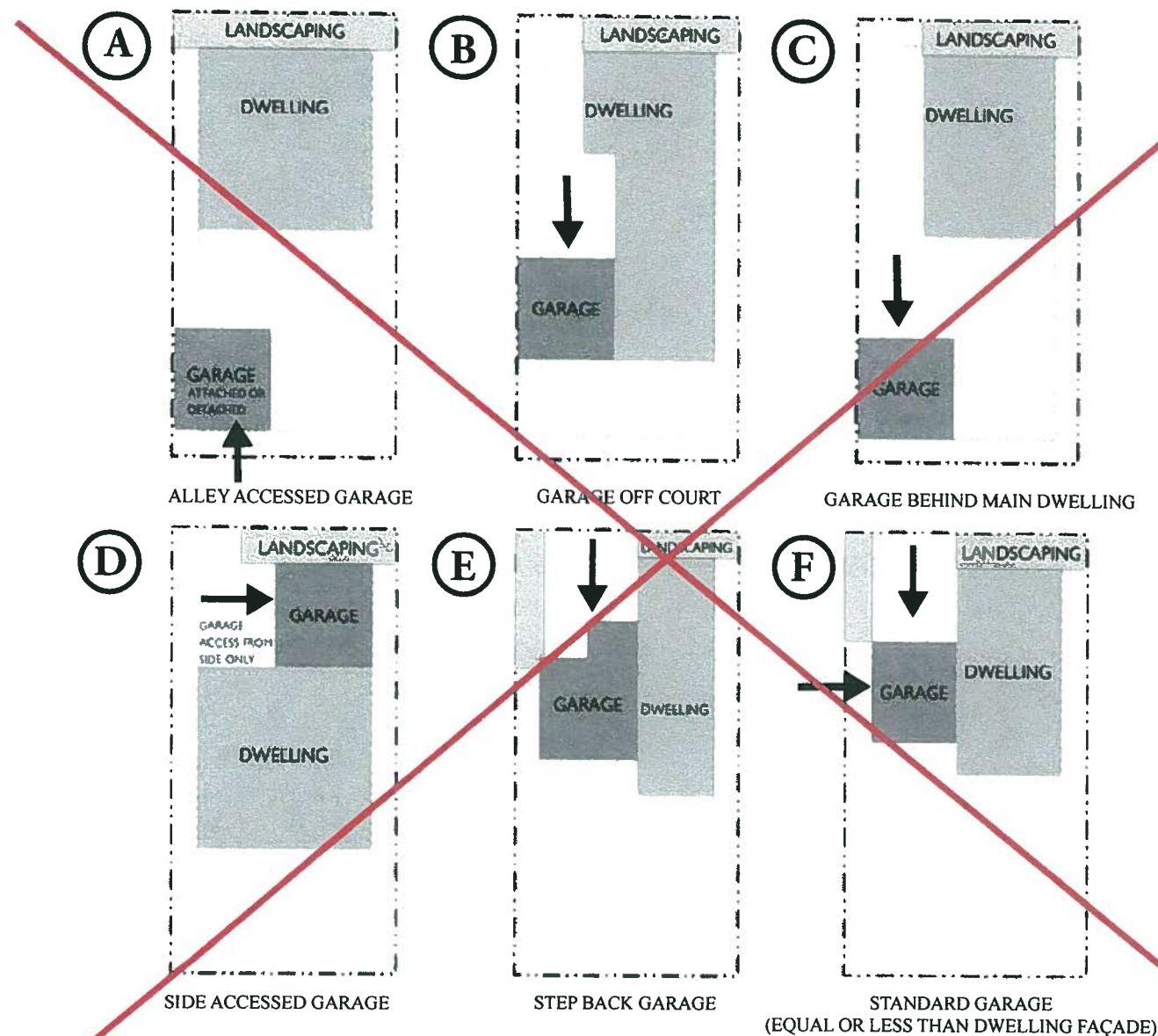


Exhibit 17, Garage Type Diagrams

Chapter 3

II – General Standards

8. Residential Garages.

a. Access

- i. Where alleys are available, residential garages shall be accessed via the alley. On streets designated Collector or lower, residential garages on corner lots shall be accessed from an alley or side street.
- ii. Where allowed, townhouses and courtyard apartments shall use rear-loaded garages.
- iii. Front-loaded garages on residential lots less than 40 feet wide shall be prohibited. Garages on these lots shall be either Garage Type A or D in **Exhibit 17** per the standards in **Table 3**.
- iv. Lots equal to or greater than 40 feet shall use any of the garage types in **Exhibit 17** per the requirements in **Table 3**.
- v. Front-loaded three-car garages are not permitted on lots equal to or less than 70 feet wide.
- vi. Garage Types D and F may be accessed from either front or side.
- vii. Driveway access, including drive pad but exclusive of wings, is limited to 14 feet for Garage Types B, C, D, E, and F except where providing access from **alleys**.
- viii. Where allowed, property owners intending to build garages on the property lot line shall submit a platted and filed maintenance easement agreement signed by the abutting property owner prior to being issued a building permit.

b. Design

- i. The garage façade area shall not exceed 50% of the total front façade area, inclusive of porches, so that garages shall not dominate the front façade.
- ii. Three-car garages on lots greater than 70 feet wide shall have a third garage setback of three (3) feet minimum from the primary garage façade.
- iii. Where there is no setback from the property line, gutters and downspouts shall drain to the street or water harvesting area to avoid impact to abutting lots.

II – General Standards

- iv. Individual garage bays shall be no greater than 12 feet wide. For garages with multiple bays, all garage doors shall be divided into single bays separated by at least a 16-inch pier or column.
- v. The color of garage doors shall blend with or complement the exterior wall color in order to minimize the prominence of the garage door.
- vi. Garage Type D shall have a minimum of 5 linear feet of fenestration on the street façade and be articulated to resemble the main structure.

LOT WIDTH	ALLOWABLE GARAGE TYPES	FRONT GARAGE SETBACK	SIDE GARAGE SETBACK	REAR GARAGE SETBACK
GREATER THAN 48 FEET	A, B, C, D, E, F	20' MINIMUM	5' MINIMUM	2' MINIMUM 5' MAXIMUM
40 FEET TO 48 FEET	A, B, C, D, E, F	20' MINIMUM	NONE	2' MINIMUM 5' MAXIMUM
LESS THAN 40 FEET	A, B, C, E	20' MINIMUM	NONE	2' MINIMUM 5' MAXIMUM

NOTE 1: Setbacks from the property line are regulated first by zone and secondarily by minimums specified above.

NOTE 2: Where setbacks apply to the garage door façade, setbacks shall be measured from the property line to the garage door.

NOTE: 1. Garage Type D shall have a minimum of 5 linear feet of fenestration on the street façade and be articulated to resemble main structure.

NOTE: 2. Garage Type F may be accessed from either front or side.

NOTE: 3. Driveway access from street, including curb cut, is limited to 12 feet for Garage Types A, B, C, D, E, and F except where providing access from alleys.

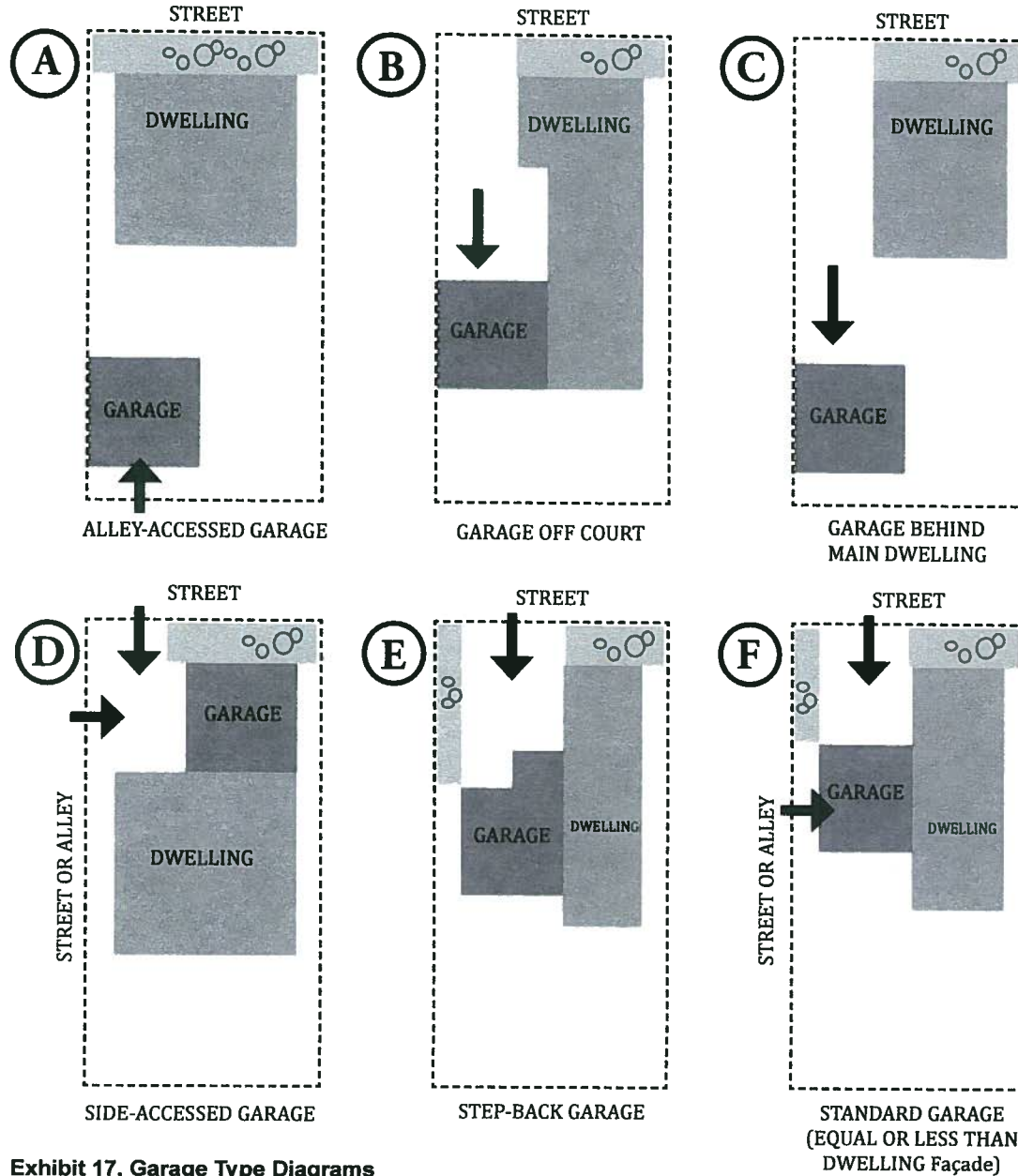
NOTE: 4. On streets designated Collector or lower, residential garages on corner lots shall be accessed from an alley or side street.

TABLE 3, GARAGE TYPES.

* See Exhibit 17, Garage Type Diagrams

Chapter 3

II – General Standards



Note: Diagrams are for illustration only. Diagrams are not to scale. Setbacks are regulated first by zone and secondarily by minimums set in Table 3.

Exhibit 17, Garage Type Diagrams

II – General Standards

11. **Appropriate Plant Lists.** The purpose of regulating plants is to reduce water usage, maintain the character of native plants now existing in the Petroglyph National Monument, and provide a harmonious landscape image. ~~Plantings from the two~~ plant lists shall guide landscaping within the Plan Area. Shrubs and trees shall be nursery grown. All properties in Volcano Trails more than 200 feet from public lands such as the Petroglyph National Monument, arroyos, and other Major Public Open Space shall use plants listed as ~~native or xeric~~ from the plant list in **Chapter 4 General Regulation B** ~~from Plant List A and/or B~~. Land disturbed in development shall be re-vegetated using ~~native species from the the appropriate~~ Plant List. (See **Chapter 4 General Regulation C – Construction Mitigation Standard CM-5**.)
- a. ~~List A~~ **List A – Petroglyph National Monument Plant List.** These are plant species selected as appropriate from an inventory of species within the Petroglyph National Monument by the National Park Service in 1994-1995 ~~including almost 200 plants (amended)~~. ~~This~~ Plants listed as native in the plant list in **Chapter 4 General Regulation B** shall be used in specified areas as identified in Table 4 to limit impact of invasive and/or non-native plants on native vegetation.
- b. ~~List B~~ **Xeric Plants List.** These plant species were selected as appropriate for Volcano Trails from ~~are~~ the official xeric or low-water use plant list of the Albuquerque Bernalillo County Water Utility Authority (ABCWUA). ~~The majority of the list is low and medium water-use plants. Some high-water use plants are also listed in order to classify them as such in implementation of the water conservation program. This xeric plant list is extensive and updated periodically by the ABCWUA. Contact the ABCWUA to obtain the most current information.~~ (See contact information provided in Plants listed as xeric in the plant list in **Chapter 4 General Regulation B** shall be used in specified areas as identified in Table 4.

Areas/Zoning	Native	Xeric
Open Space Areas, Arroyos, Conservation Easements, SU-2 Volcano Trails Open Space	*	
SU-2/VTVC, SU-2/VTUR SU-2/VTRD, SU-2/VTSL SU-2/VTML, SU-2 RD	*	*
Scenic Corridors	*	
Other Roads		*
	* allowed	

TABLE 4, PERMITTED PLANT LIST

Chapter 4 – General Regulations

A – Approved Colors

APPROPRIATE COLORS FROM THE NATURAL LANDSCAPE

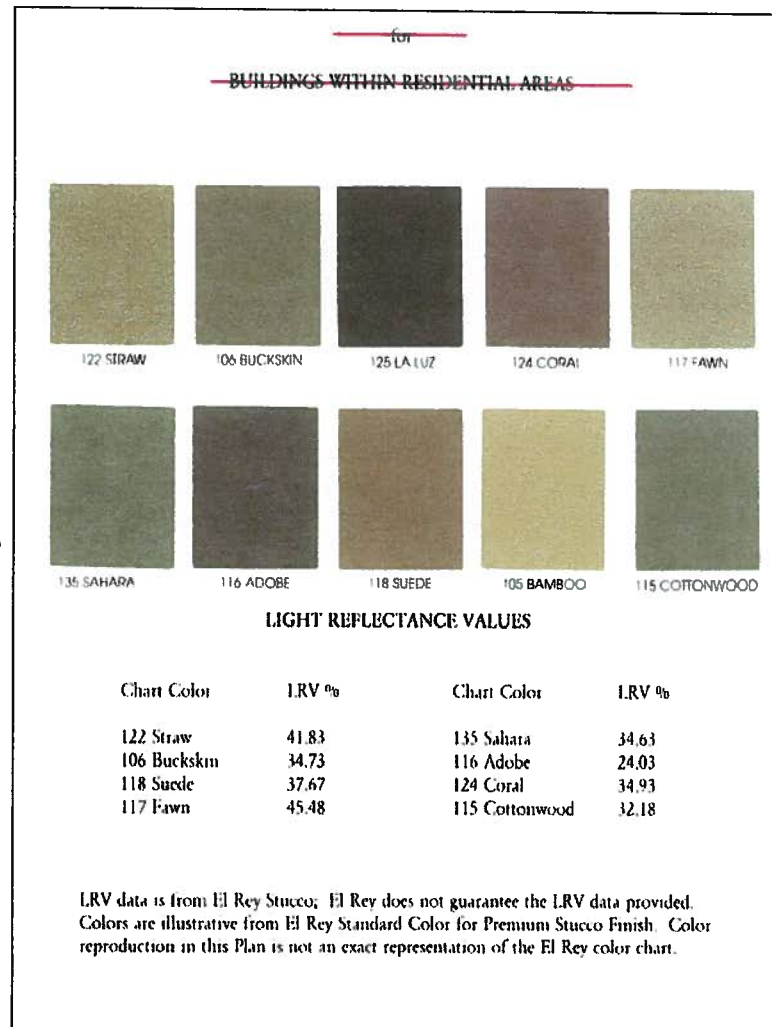


Exhibit 18, Sample Colors within Approved LRV Range

Exterior color and reflectivity standards for buildings, residential areas

In any residential area, Exterior building colors shall have a “light reflective value” (LRV) within the range of 20% to 50% LRV rating. Stucco and other materials with colors similar to those illustrated in Exhibit 18 may be used, as long as they have integral color and meet the standards for reflectivity and harmony with the natural landscape. (See Chapter 3 Section II – General Standard B.1. for more details about Exterior Finishes permitted by the Plan.)

In keeping with New Mexico tradition, accent colors on front doors, window sash, and other incidental elements are allowed up to 20% of a façade area as long as the accent does not overwhelm the building’s basic color or create a visual distraction from the adjacent streets, lots, or public areas.

The sample colors illustrated in Exhibit 18 are stucco with integrated color as manufactured by El Rey traditional cementitious stucco in Albuquerque. El Rey Premium Stucco Finish is a compound of cement, hydrated lime, sand aggregates, and iron oxide pigments. Since the stucco is integrally colored, it will never need to be painted. Like many natural landscapes, the traditional cement stucco is breathable and appears slightly different during each season and at alternate times of the day.

Chapter 4 – General Regulations

B – ~~Native Plant List~~ ~~A & Xeric Plant List~~ B

TABLE 5 – PLANT LIST (TREES)

Scientific Name	Common Name	Native or Xeric	Deciduous or Evergreen	Approx. Height x Width at Maturity (in ft.)
<i>Cercocarpus ledifolius</i>	Curlleaf mountain mahogany	Xeric	Evergreen	12 x 8
<i>Chilopsis linearis</i>	Desert willow	Native	Deciduous	20 x 20
<i>Juniperus monosperma</i>	Oneseed juniper	Native	Evergreen	15 x 15
<i>Juniperus scopulorum</i>	Rocket Mountain juniper, female	Xeric	Evergreen	40 x 20
<i>Juniperus virginiana</i>	Juniper, female	Xeric	Evergreen	20 x 10
<i>Leucana retusa</i>	Golden ball leadtree	Xeric	Deciduous	15 x 15
<i>Melia azedarach</i>	Chinaberry	Xeric	Deciduous	25 x 20
<i>Prosopis glandulosa</i>	Honey mesquite	Xeric	Deciduous	25 x 30
<i>Prosopis pubescens</i>	Screwbean mesquite	Xeric	Deciduous	20 x 20
<i>Prosopis torreyana</i>	Western honey mesquite	Xeric	Deciduous	18 x 20
<i>Prosopis velutina</i>	Velvet mesquite	Xeric	Deciduous	20 x 25
<i>Quercus grisea</i>	Gray oak	Xeric	Evergreen	30 x 30
<i>Quercus suber</i>	Cork oak	Xeric	Evergreen	30 x 30
<i>Quercus turbinella</i>	Shrub live oak	Xeric	Evergreen	18 x 20
<i>Sambucus mexicana</i>	Mexican elder	Xeric	Deciduous	20 x 25
<i>Sapindus drummondii</i>	Western soapberry	Xeric	Deciduous	30 x 30
<i>Zizyphus jujuba</i>	Jujube	Xeric	Deciduous	25 x 25

Chapter 4 – General Regulations

B – ~~Native~~ Plant List ~~A & Xeric Plant List B~~

TABLE 5 – PLANT LIST (SHRUBS)

Scientific Name	Common Name	Native or Xeric	Deciduous or Evergreen	Approx. Height x Width at Maturity (in ft.)
Agave sp.	Agave	Native	Evergreen	varies
Artemisia filifolia Torr	Sand sage	Native	Evergreen	3 x 3
Atriplex canescens	Fourwing saltbrush	Native	Deciduous	5 x 5
Brickellia californica	California brickellbush	Native	Deciduous	3 x 3
Dalea sp.	Purple sage	Native	Deciduous	5 x 5
Dasyllirion sp.	Sotol	Xeric	Evergreen	5 x 5
Fallugia paradoxa	Apache plume	Native	Deciduous	5 x 5
Fouquieria splendens	Ocotillo	Xeric	Deciduous	15 x 10
Krascheninnikovia lanata	Winterfat	Native	Deciduous	5 x 5
Nolina microcarpa	Beargrass	Xeric	Evergreen	5 x 6
Opuntia sp.	Prickly pear	Native	Evergreen	varies
Rhus trilobata	Skunkbush sumac	Native	Deciduous	3 x 3
Ribes sp.	Gooseberry	Native	Deciduous	5 x 3
Yucca sp.	Yucca	Native	Evergreen	varies

Chapter 4 – General Regulations

B – ~~Native Plant List~~ ~~A & Xeric Plant List~~ B

TABLE 5 – PLANT LIST (FORBS, GRASSES, AND GROUNDCOVERS)

Scientific Name	Common Name	Native or Xeric	Approx. Height x Width at Maturity (in inches)
<i>Abronia villosa</i>	Sand verbena	Native	1 x 4
<i>Andropogon saccharoides</i>	Silver beardgrass	Native	2.5 x 2
<i>Aristida purpurea</i>	Purple threeawn	Native	1 x 1
<i>Artemisia ludoviciana</i>	Prairie sage or white sagebrush	Native	3 x 3
<i>Asclepias speciosa</i>	Showy milkweeds	Native	2 x 3
<i>Baileya multiradiata</i>	Desert marigold	Native	varies
<i>Bouteloua curtipendula</i>	Sideoats grama	Native	2 x 1
<i>Bouteloua gracilis</i>	Blue grama	Native	1 x 1
<i>Bouteloua eriopoda</i>	Black grama	Native	1 x 1
<i>Elymus elymoides</i>	Bottlebrush squirreltail	Native	varies
<i>Eriogonum annuum</i>	Annual buckwheat	Xeric	1-5 x 2
<i>Gaillardia pulchella</i>	Firewheel	Native	varies
<i>Hilaria jamesii</i>	Galleta	Native	2 x 1
<i>Linum perenne lewisii</i>	Blue flax	Xeric	2 x 2
<i>Mirabilis</i> sp.	Four o'clock	Native	1 x 4
<i>Muhlenbergia porteri</i>	Bush muhly	Native	varies
<i>Oenothera</i> sp.	Evening primrose	Native	1.5 x 4
<i>Oryzopsis hymenoides</i>	Indian ricegrass	Native	varies
<i>Parthenium incanum</i>	Mariola	Native	varies
<i>Penstemon ambiguous</i>	Beardtongue	Native	2 x 1
<i>Phacelia integrifolia</i>	Scorpionflower	Native	1 x 1
<i>Philostrophe taetina</i> (also <i>Psilostrophe taetina</i>)	Paperflower	Native	3 x 3
<i>Sporobolus cryptandrus</i>	Sand dropseed	Native	varies
<i>Zinnia grandiflora</i>	Desert zinnia	Xeric	varies

Chapter 4 – General Regulations

B – Native Plant List A & Xeric Plant List B

Native Plant List A

List of Plant Species of Petroglyph National Monument - Plants found by Bleakly during survey from August 1994 through September 1995. One hundred and ninety-two (192) plants from 40 families were identified. Arrangement is alphabetical by family, genus, and species with some synonyms and common names. An asterisk (*) before the name indicates plants listed in Barlow-Irick (1993). Nomenclature according to Kartesz (1994). Common names from various sources. Number of species in each family are in parentheses after family name. A "pound sign" (#) indicates that a voucher is housed at the UNM Herbarium.

ADIANTACEAE Maidenhair Fern Family (1)
Cheilanthes feei T. Moore **SLENDER LIPFERN** #

AGAVACEAE Agave or Yucca Family (1)
Yucca glauca Nutt. **SMALL SOAPWEED**

AMARANTHACEAE Pigweed Family (3)
Amaranthus acanthochiton Sauer **GREENSTRIPE** #
Amaranthus wrightii S. Wats. **WRIGHT'S AMARANTH** #
Tidestromia lanuginosa (Nutt.) Standl. **WOOLLY TIDESTROMIA**

ANACARDIACEAE Sumac Family (1)
Rhus trilobata Nutt. **SKUNKBUSH, SKUNKBUSH SUMAC**

APIACEAE (=UMBELLIFERAE) Parsley or Carrot Family (1)
Cymopterus acaulis (Pursh) Raf. var. *fendleri* (Gray)
Goodrich (*Cymopterus fendleri* Gray) **FENDLER SPRINGPARSLEY** #

ASCLEPIADACEAE Milkweed Family (1)
Asclepias subverticillata (Gray) Vail **WHORLED MILKWEED**

ASTERACEAE (=COMPOSITAE) Sunflower Family (42)
Acourtia nana (Gray) Reveal & King (*Perezia nana* Gray) **DWARF DESERT HOLLY, DWARF DESERTPEONY** #
Aphanostephus ramosissimus DC. **PLAINS DOZEDAISY** #
Artemisia bigelovii Gray **BIGELOW'S SAGEBRUSH** #

Artemisia filifolia Torr. **SANDSAGE, SAND SAGEBRUSH**
Artemisia frigida Willd. **FRINGED SAGE**
Artemisia ludoviciana Nutt. ssp. *albula* (Woot.) Keck **WHITE SAGEBRUSH** #

* *Bahia absinthifolia* Benth. #

* *Bahia dissecta* (Gray) Britt.

Bahia pedata Gray **BLUNTSCALE BAHIA** #

Baileya multiradiata Harvey & Gray ex Gray **DESERT MARIGOLD** #

* *Berlandiera lyrata* Benth.

Brickellia californica (Torr. & Gray) Gray **CALIFORNIA BRICKELLBUSH** #

Chaetopappa ericoides (Torr.) Nesom (*Leucelene ericoides* (Torr.) Greene)
WHITE ASTER

* *Chrysothamnus nauseosus* (Pallas ex Pursh) Britt. ssp. *bigelovii* (Gray)
Hall & Clements #

Chrysothamnus pulchellus (Gray) Greene ssp. *pulchellus*

SOUTHWESTERN RABBITBRUSH #

Coryza canadensis (L.) Cronq. **CANADIAN HORSEWEED**

* *Gaillardia pinnatifida* Torr. #

Gaillardia pulchella Foug. **FIREWHEEL**

Gutierrezia sarothrae (Pursh) Britt. & Rusby **BROOM SNAKEWEED** #

Helianthus petiolaris Nutt. **PRAIRIE SUNFLOWER**

Hymenopappus flavescens Gray var. *canotomentosus* Gray **YELLOW-FLOWERED WHITE RAGWEED, COLLEGEFLOWER** #

Machaeranthera canescens (Pursh) Gray **HOARY TANSYASTER** #

* *Machaeranthera gracilis* (Nutt.) Shinnars (*Haplopappus gracilis* (Nutt.) Gray) #

Machaeranthera pinnatifida (Hook.) Shinnars (*Haplopappus spinulosus* (Pursh) DC.) **LACY TANSYASTER**

Malacothrix fendleri Gray **FENDLER DESERTDANDELION** #

Melampodium leucanthum Torr. & Gray **PLAINS BLACKFOOT** #

* *Microseris* sp. *Palafoxia sphacelata* (Nutt. ex Torr.) Cory **OTHAKE** #

Parthenium incanum Kunth **MARIOLA** #

Pectis angustifolia Torr. var. *angustifolia* **NARROWLEAF PECTIS** #

Psilostrophe tagetina (Nutt.) Greene **WOOLLY PAPERFLOWER**

Sanvitalia abertii Gray **ABERT'S CREEPING ZINNIA** #

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B – Native Plant List A & Xeric Plant List B

Senecio flaccidus Less. var. *flaccidus* (*Senecio douglasii* DC. ssp. *longilobus* (Benth.) L. Benson THREADLEAF GROUNDSEL #
Senecio multicapitatus Greenm. ex Rydb. RAGWORT GROUNDSEL #
Senecio riddellii Torr. & Gray RIDDELL'S RAGWORT OR GROUNDSEL #
Stephanomeria pauciflora (Torr.) A. Nels. BROWNPLUME WIRELETTUCE #
Thelesperma megapotamicum (Spreng.) Kuntze HOPI TEA, GREENTHREAD
Thymophylla acerosa (DC.) Strother (*Dyssodia acerosa* DC.) PRICKLYLEAF DOGWEEED #
Verbesina encelioides (Cav.) Benth. & Hook. f ex Gray GOLDENCROWNBEARD, COWPEN DAISY
Xanthium strumarium L. COCKLEBUR
Zinnia grandifolia Nutt. ROCKY MOUNTAIN ZINNIA #

BIGNONIACEAE Bignonia Family (1)

Chilopsis linearis (Cav.) Sweet DESERT WILLOW

BORAGINACEAE Borage Family (4)

Cryptantha cinerea (Greene) Cronq. var. *cinerea* (*C. jamesii* Payson var. *multicaulis* (Torr.) Payson) JAMES' CATSEYE #
Cryptantha crassisepta (Torr. & Gray) Greene var. *elachantha* I.M. Johnston. THICKSEPAL CATSEYE #
Heliotropium convolvulaceum (Nutt.) Gray PHLOX HELIOTROPE
Lappula occidentalis (S. Wats.) Greene var. *occidentalis* (*L. redowskii* (Hornem.) Greene) FLATSPINE STICKSEED #

BRASSICACEAE (=CRUCIFERAE) Mustard Family (7)

Descurainia pinnata (Walt.) Britt. WESTERN TANSYMUSTARD #
Dimorphocarpa wislizenii (*Dithyrea wislizenii*)

SPECTACLE POD, TOURISTPLANT

Lepidium lasiocarpum Nutt. var. *lasiocarpum* SHAGGYFRUIT PEPPERWEED #

* *Lepidium montanum* Nutt.

Lesquerella fendleri (Gray) S. Wats. FENDLER BLADDERPOD #

CACTACEAE Cactus Family (6)

Echinocereus fendleri (Engelm.) F. Seitz PINKFLOWERED HEDGEHOG CACTUS
Escobaria vivipara (Nutt.) Buxbaum (*Coryphantha vivipara* (Nutt.) Britt. & Rose) SPINYSTAR
Opuntia clavata Engelm. CLUB CHOLLA
Opuntia imbricata (Haw.) DC. TREE or WALKINGSTICK CHOLLA
Opuntia phaeacantha Engelm. BROWNSPINE PRICKLYPEAR
Opuntia polyacantha Haw. PLAINS PRICKLYPEAR

CAPPARACEAE Caper Family (1)

Polanisia dodecandra (L.) DC. ssp. *trachysperma* (Torr. & Gray) Ilitis SANDYSEED CLAMMYWEED #

CHENOPODIACEAE Goosefoot Family (5)

Atriplex canescens (Pursh) Nutt. FOURWING SALTBUCH
* *Chenopodium denticatum* A. Nels. #
Chenopodium fremontii S. Wats. FREMONT'S GOOSEFOOT #
Krascheninnikovia lanata (Pursh) Guldenstaedt (*Ceratoides lanata* (Pursh) J.T. Howell; *Eurotia lanata* (Pursh) Moq.) WINTERFAT

CUCURBITACEAE Gourd Family (1)

Cucurbita foetidissima Kunth COYOTE or MISSOURI GOURD

CUPRESSACEAE Cypress Family (1)

Juniperus monosperma (Engelm.) Sarg. ONESEED JUNIPER

EPHEDRACEAE Jointfir Family (1)

Ephedra torreyana S. Wats. TORREY JOINTFIR or MORMON TEA #

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EUPHORBACEAE Spurge Family (7)

Chamaesyce parryi (Engelm.) Rydb. PARRY'S SANDMAT or SPURGE #
Chamaesyce sarrylifolia (Pers.) Small THYMELEAF SANDMAT or SPURGE #
Chamaesyce serrula (Engelm.) Woot. & Standl. SAWTOOTH SANDMAT or SPURGE #
Croton texensis (Klotzsch) Muell.-Arg. TEXAS CROTON #
Euphorbia dentata Michx. TOOTHED SPURGE #
* *Tragia ambylodonta* (Muell.-Arg.) Pax & K. Hoffmann
Tragia ramosa Torr. BRANCHED NOSEBURN

FABACEAE (=LEGUMINOSAE) Bean or Pea Family (14)

Astragalus amphioxys Gray var. *amphioxys* CRESCENT MILKVETCH #
Astragalus ceramicus Sheld. var. *ceramicus* PAINTED MILKVETCH #
Astragalus lentiginosus Dougl. var. *diphysus* (Gray) Jones SPECKLEPOD MILKVETCH #
Astragalus nuttallianus DC. SMALLFLOWERED MILKVETCH #
Caesalpinia jamesii (Torr. & Gray) Fisher JAMES' HOLDBACK
Dalea compacta Spreng. var. *compacta* COMPACT PRAIRIECLOVER #
Dalea formosa Torr. FEATHERPLUME
Dalea lanata Spreng. var. *terminalis* (Jones) Barneby WOOLLY PRAIRIECLOVER #
Dalea nana Torr. ex Gray var. *carnescens* Kearney & Peebles DWARF PRAIRIECLOVER #
Dalea scariosa S. Wats. (*Petalostemon scariosa* (S. Wats.) Wemple) ALBUQUERQUE PRAIRIECLOVER #
Hoffmannseggia glauca (Ortega) Eifert INDIAN RUSHPEA
Pediomelum hypogaeum (Nutt.) Rydb. (*Psoralea hypogaea* Nutt.) SCURFPEA #
Psoralea scoparius (Gray) Rydb. (*Dalea scoparia* Gray) BROOM

DALEA; PURPLE SAGE

FUMARIACEAE Fumitory Family (1)

Corydalis aurea Willd. GOLDEN CORYDALIS, SCRAMBLED EGGS, GOLDENSMOKE, BUTTER AND EGGS

GROSSULARIACEAE Gooseberry Family (1)

Ribes sp. GOOSEBERRY

HYDROPHYLLACEAE Waterleaf Family (4)

Nama hispidum Gray BRISTLY NAMA
Phacelia crenulata Torr. var. *crenulata* CLEFTLEAF WILDHELIOSTROPE #
Phacelia integrifolia Torr. GYPSUM SCORPIONWEED #
Phacelia ivesiana Torr. IVES PHACELIA #

LINACEAE Flax Family (2)

Linum aristatum Engelm. BRISTLE FLAX
* *Linum australe* Heller #

LOASACEAE Stickleaf Family (2)

Mentzelia albicaulis (Dougl.) Dougl. WHITESTEM BLAZINGSTAR
Mentzelia pumila (Nutt.) Torr. & Gray DWARF MENTZELIA #

MALVACEAE Mallow Family (5)

Sida abutilifolia P. Mill. (*Sida filicaulis* Torr. & Gray) SPREADING FANPETALS #
* *Sida neomexicana* Gray
Spheralcea angustifolia (Cav.) G. Don ssp. *lobata* (Woot.) Kearney COPPER GLOBEMALLOW #
Spheralcea hastulata Gray (*Spheralcea subhastata* Coult.) SPEAR GLOBEMALLOW #
Spheralcea incana Torr. ex Gray GRAY GLOBEMALLOW #

NYCTAGINACEAE Four O'clock Family (7)

Abronia fragrans Nutt. ex Hook. FRAGRANT WHITE SAND VERBENA
* *Allionia choysia* Standl. #
Allionia incarnata L. TRAILING WINDMILLS #
Boerhavia spicata Choisy (*B. torreyana* (S. Wats.) Standl.) CREEPING SPIDERLING

* *Mirabilis glabra* (S. Wats.) Standl. (*Oxybaphus glaber* S. Wats.) #
Mirabilis linearis (Pursh) Heimerl NARROWLEAF FOUR O'CLOCK
Selinocarpus diffusus Gray SPREADING MOONPOD #

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OLEACEAE Olive Family (1)

Menodora scabra Gray ROUGH MENODORA

ONAGRACEAE Evening Primrose Family (2)

Gaura coccinea Nutt. ex Pursh SCARLET BEEBLOSSOM

Oenothera pallida Lindl. PALE EVENINGPRIMROSE #

OROBANCHACEAE Broomrape Family (1)

Orobanche ludoviciana Nutt. (*O. multiflora* Nutt.) LOUISIANA BROOMRAPE #

PEDALIACEAE Sesame Family (1)

Proboscidea louisianica (P. Mill.) Thelleng COMMON DEVILSCRAW, DEVILSHORN, RAM'S HORN

PLANTAGINACEAE Plantain Family (1)

Plantago patagonica Jacq. (*P. purshii* Morris) WOOLLY PLANTAIN #

Plantago lanceolata L. NARROWLEAF PLANTAIN

POACEAE (=GRAMINAE) Grass Family (42)

Aristida adscensionis L. SIXWEEKS THREEAWN #

* *Aristida arizonica* Vasey

Aristida havardii Vasey HAVARD'S THREEAWN #

* *Aristida pansa* Woot. & Standl.

Aristida purpurea Nutt. var. *fendleriana* (Steud.) Vasey

FENDLER'S THREEAWN #

* *Aristida purpurea* Nutt. var. *nealleyi* (Vasey) Allred #

* *Aristida purpurea* Nutt. var. *purpurea* #

* *Bothriochloa barbinodis* (Lag.) Herta #

Bothriochloa laguroides (DC.) Herta ssp. *torreyana* (Steud.) Allred & Gould
(*Andropogon saccharoides* Sw.) SILVER BEARDGRASS or SILVER BLUESTEM #

Bouteloua aristoides (H.B.K.) Griseb. var. *aristoides* NEEDLE GRAMA #

Bouteloua barbata Lag. var. *barbata* SIXWEEKS GRAMA #

Bouteloua curtipendula (Michx.) Torr. SIDEOATS GRAMA

Bouteloua eriopoda (Torr.) Torr. BLACK GRAMA #

Bouteloua gracilis (Willd. ex Kunth) Lag. ex Griffiths BLUE GRAMA

Bouteloua hirsuta Lag. HAIRY GRAMA

* *Cenchrus carolinianus* Walt. (*Cenchrus incertus* M.A. Curtis)

* *Digitaria californica* (Benth.) Henr. #

Elymus elymoides (Raf.) Swezey (*Sitanion hystrix* (Nutt.) J.G. Sm.; *Elymus longifolius* (J.G. Sm.) Gould) SQUIRRELTAIL #

Enneapogon desvauxii Beauv. NINEAWN PAPPUSGRASS #

Erioneuron pulchellum (Kunth) Tateoka (*Dasyochloa pulchella* (Kunth) Willd. ex Rydb.) FLUFFGRASS, LOW WOOLLYGRASS #

Hilaria jamesii (Torr.) Benth. (*Pleuraphis jamesii* Torr.) GALLETA #

* *Koeleria macrantha* (Ledeb.) J.A. Schultes

(*Koeleria cristata* auct. p.p. non Pers.)

* *Lycurus phleoides* Kunth

Monroa squarrosa (Nutt.) Torr. (*Munroa squarrosa* (Nutt.) Torr.)

FALSE BUFFALOGRASS #

* *Muhlenbergia arenacea* (Buckl.) A.S. Hitchc.

Muhlenbergia arenicola Buckl. SAND MUHLY #

Muhlenbergia porteri Scribn. BUSH MUHLY #

Muhlenbergia pungens Thurb. SANDHILL MUHLY #

Muhlenbergia torreyi (Kunth) A.S. Hitchc. ex Bush RING MUHLY

Oryzopsis hymenoides (Roemer & J.A. Schultes)

Ricker ex Piper INDIAN RICEGRASS

* *Poa bigelovii* Vasey & Scribn.

Scleropogon brevifolius Phil. BURROGRASS #

Setaria leucopila (Scribn. & Merr.) K. Schum.

STREAMBED BRISTLEGRASS #

* *Setaria lutescens* (Weigel) F.T. Hubbard ?

Sporobolus contractus A.S. Hitchc. SPIKE DROPSEED

Sporobolus cryptandrus (Torr.) Gray SAND DROPSEED #

* *Sporobolus flexuosus* (Thurb. ex Vasey) Rydb. #

Sporobolus giganteus Nash GIANT DROPSEED #

Stipa comata Trin & Rupr. var. *comata* NEEDLEANDTHREAD #

* *Stipa neomexicana* (Thurb. ex Coult.) Scribn.

Stipa spartea Trin. PORCUPINEGRASS #

Vulpia octoflora (Walt.) Rydb. (*Festuca octoflora* Walt.)

SIXWEEKS FESCUE #

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B – Native Plant List A & Xeric Plant List B

POLEMONIACEAE Phlox Family (1)

Ipomopsis pumila (Nutt.) V. Grant DWARF GILIA #

POLYGONACEAE Knotweed Family (4)

Eriogonum abertianum Torr. var. *abertianum* ABERT BUCKWHEAT #

* *Eriogonum effusum* Nutt.

Eriogonum polycladon Benth. SORREL BUCKWHEAT #

Eriogonum rotundifolium Benth. ROUNDLEAF BUCKWHEAT #

Rumex hymenosepalus Torr. CANAIGRE DOCK #

PORTULACACEAE Purslane Family (1)

Portulaca sp. PURSLANE

RANUNCULACEAE Crowfoot Family (1)

Delphinium sp. LARKSPUR

ROSACEAE Rose Family (1)

Fallugia paradoxa (D. Don) Endl. ex Torr. APACHE PLUME

SALICACEAE Willow Family

Salix sp. WILLOW

SCROPHULARIACEAE Figwort Family (3)

Epixiphium wislizenii (Engelm. ex Gray) Munz (*Maurandya wislizenii*

Engelm. ex Gray) BALLOONBUSH #

Penstemon ambiguus Torr. GILIA PENSTEMON or BEARDTONGUE

* *Penstemon* sp.

SOLANACEAE Potato Family (5)

Chamaesaracha coronopus (Dunal) Gray GREENLEAF FIVE EYES #

Datura inoxia P. Mill. THORNAPPLE; JIMSONWEED #

Lycium pallidum Miers PALE WOLFBERRY

Nicotiana trigonophylla Dunal DESERT TOBACCO #

Physalis acutifolia (Miers) Sandw. (*P. wrightii* Gray) SHARPLEAF

GROUNDCHERRY #

Solanum elaeagnifolium Cav. SILVERLEAF NIGHTSHADE

VERBENACEAE Vervain Family (2)

Aloysia wrightii Heller ex Abrams WRIGHT'S BEEBRUSH #

* *Tetradlea coulteri* Gray #

ZYGOPHYLLACEAE Caltrop Family (2)

Kallstroemia sp. CALTROP

Xeric Plant List B

A list of official xeric or low-water plant species periodically updated by the Albuquerque Bernalillo County Water Utility Authority (ABCWUA).

To obtain the most current information, contact ABCWUA:

Telephone: 505-842-WATR

Website: <http://www.abcwua.org/pdfs/xeriplantlist.pdf>

For additional information, see ABCWUA's

How-To Guide to Xeriscaping:

<http://www.abcwua.org/content/view/full/3463/>

Chapter 4 – General Regulations

C – Construction Mitigation

Any damage to the vegetation, slope, or placement of boulders due to or related to construction shall be mitigated as provided herein.

Standard CM-1: Grading permits shall only be issued concurrently with building permits for all non-residential and mixed-use developments, as well as residential developments over two lots. ~~Grading permits for commercial lot developments in the Volcano Trails Sector Development Plan area will be issued concurrently with the respective commercial building permits.~~ Grading permits for residential developments greater than 10 acres shall require soil stabilization, approved by the Environmental Health Department, which shall be applied to the disturbed area within three months after grading of the site commences. Grading within public rights-of-way or public drainage easements is exempt.

Standard CM-2: Prior to beginning construction, the property owner shall construct a temporary silt fence at the site boundary adjacent to sensitive lands (i.e. the Escarpment Buffer, Major Open Space Area, archeological site, or public or private conservation area to be maintained in natural desert landscape) to effectively protect them from heavy equipment and vehicles. Photographs of the site in its original condition shall be submitted with the application for building permit and subdivision and/or site development plan.

Standard CM-3: Public- and private-sector projects facing the Escarpment and adjacent to archeological sites must include geotechnical data and analysis that demonstrate to the satisfaction of the City Engineer that proposed trenching or blasting will not affect the face of the Escarpment, whether by potentially causing erosion or caving of the slopes and boulders, threatening public safety or welfare, or otherwise damaging archeological resources.

Standard CM-4: In the selection of alignment and in site design, grading plans shall demonstrate that cut and fill has been kept to a minimum consistent with the standards in this Plan. Generally, the overall topography of the site is not to be substantially altered. Development must comply with the joint Albuquerque-Bernalillo County Fugitive Dust Ordinance found in the New Mexico Administrative Code 20.11.20.

Standard CM-5: Replacement of boulders shall approximate the original location, angle, and surface exposure. Revegetation to approximate original cover with appropriate native or naturalized plants as identified in **Chapter 4 General Regulation B – Plant List A** is required within 90 days of project completion. A deviation may be granted by the Planning Director or his/her designee if the type of vegetation or time of year make revegetation within 90 days impossible. For infrastructure projects on public lands, the construction company shall post a warranty bond effective for three years after completion of the infrastructure work to insure successful revegetation.

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Attachment B – Public Comments



Volcano Cliffs Property Owners Association, Inc.

P.O. Box 27666, Albuquerque, New Mexico 87125

January 29, 2014

Mikaela J. Renz-Whitmore
Planning Department
City of Albuquerque

sent by email

Subject: Volcano Cliffs SDP Amendment

Dear Mikaela:

As a follow to up to our discussion about the amendments to VCSDP we request that one item be added. You probably have to use different wording but here's our thoughts on the amendment.

In the VCRR zone the current amendment allows open view fencing which is appropriate for perimeter, yard or corrals.

Please add text that would allow Patio-Pool-Courtyard walls that meet these standards:

- a.) Must be attached to a dwelling
- b.) Must not infringe on any of the front, side or rear setbacks
- c.) Must be made of materials similar to or complementary to the dwelling
- d.) The total enclosed wall area (any combination of a Patio, Pool, Courtyard) per dwelling unit may be 1000 sq.ft. or 50% of the dwelling square footage whichever is greater. (If a home owner wanted a small walled area in front this would then be deducted from the remaining space allowed in the side or rear.)

Purpose:

Protect and provide privacy for patio and pool areas adjacent to dwellings in a zone that could have significant distances between houses and otherwise requires open view fencing.

Provide security for the home and a secure area for children to play. The Rural Residential area with its low density and openness encourages the roaming of wildlife including coyotes.

Protect areas close to homes from dust and tumbleweeds.

We studied several house plans and discussed with realtors to come up with a size recommendation. A Pool or grass area of 20'X40' would be 800 sq.ft. A homeowner would then need some space for bar-b-que and patio furniture. In this example an area of 1200-1400 sq.ft. would seem reasonable.

This is what the Patio area to home size would look like.

1600 sq.ft. (smallest per some covenants) home could have 1000 sq.ft. walled Patio area

2000 sq.ft. home could have 1000 sq.ft. walled Patio area

2500 sq.ft. home could have 1250 sq.ft. walled Patio area

3000 sq.ft. home could have 1500 sq.ft. walled Patio area

4000 sq.ft. home could have 2000 sq.ft. walled Patio area

Contact information for the VCPOA includes email: volcanocliffs@hotmail.com or free phone message line 1-877-793-8173, or board member phone numbers are listed below.

Sincerely
Volcano Cliffs Property Owners Association Board

Dave Heil

Board of Directors:

Joe Archbold (505) 328-1331, Blake Thompson (Sec.) (505) 328-3117, Patrick Chapman (505) 897-0337, Ralph Davis (Treas) (505) 899-1705, Dave Heil (Pres.) (505) 228-7189, Barbara Mueller (505) 898-7755, Bill Wright (505) 872-0523, Kyle Falls (V.P.) (505) 459-3638, Ivan Santestivan (505) 350-3324, Markku Koskelo (505) 898-7875, Jim Wiegmann (505) 881-4597, Keith Perry (505) 298-2547

Renz-Whitmore, Mikaela J.

From: Hoffman, Jim <jim.hoffman@alcon.com>
Sent: Thursday, January 30, 2014 2:06 PM
To: Renz-Whitmore, Mikaela J.; Webb, Andrew
Subject: Public Comment - Volcano Mesa Plan Amendments for EPC 2/13/14

Attached are my comments regarding the three Volcano Mesa sector plan updates to be heard at EPC on 2/13/14.

Volcano Trails

1. Page 7 - The legend Volcano Mesa Road Network map should reflect that intersections are approved, not proposed. A reference to TCC resolution 13-03 should also be included either on the map of the sector plan text.

Volcano Cliffs

2. Page 29 - The legend Volcano Mesa Road Network map should reflect that intersections are approved, not proposed. A reference to TCC resolution 13-03 should also be included either on the map of the sector plan text.
3. Page 34 - The legend Volcano Mesa Road Network map should reflect that intersections are approved, not proposed. Cross section 7.1 does not make sense for Paseo del Norte. Specifically, why would BRT lanes on Paseo del Norte transition from being outside lanes in cross section 7.4, to median lanes in cross section 7.1, and then back to outside lanes in cross section 6?
4. Page 48 - Which side of the road is the multi-use trail on in cross section 7.4 for Paseo del Norte?
5. Page 84 – Align terminology for “significant rock outcropping” in the VCSDP with “rock outcropping” in the VHSDP

Volcano Heights

6. Page 49 - Align terminology for “rock outcropping” in the VHSDP with “significant rock outcropping” in the VCSDP
7. Other definitions – Add definitions for “Leapfrog Development” and “Urban Infill”.

Leapfrog Development – Development that does not occur contiguously to existing development

Urban Infill – New development within an existing community that is enclosed by other types of development

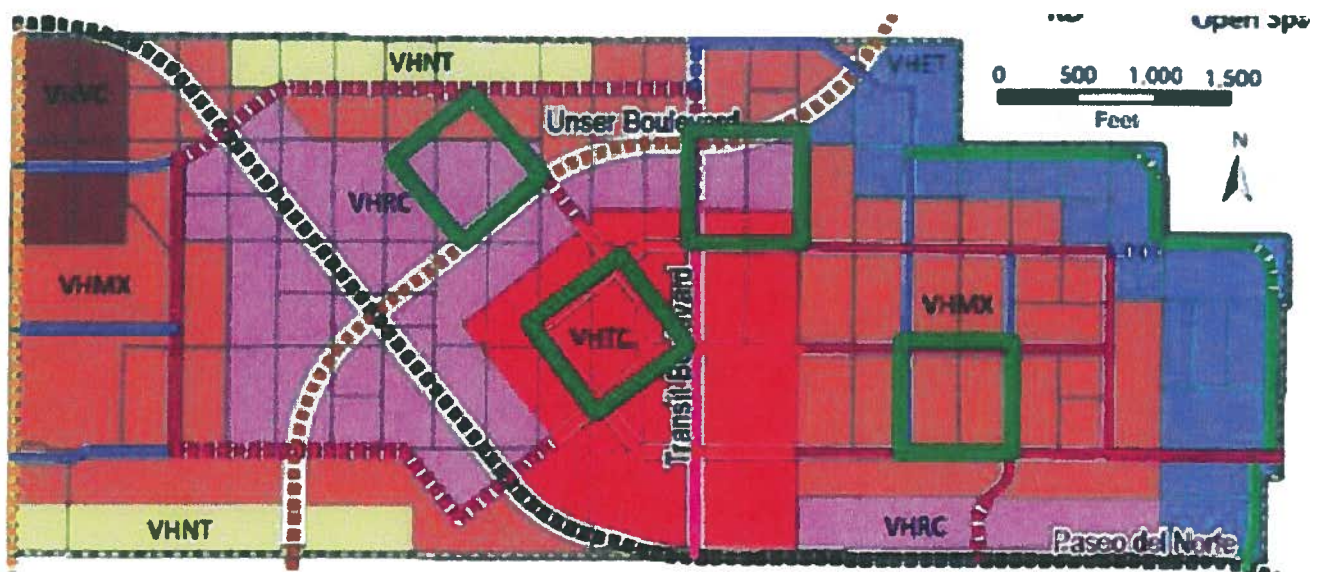
The plan should reference that Volcano Heights is urban infill due to previous leapfrog development that occurred in the past 15 years.

8. Pages 163 / 164 - Cross section ST7.1 does not make sense for Paseo del Norte. Specifically, why would BRT lanes on Paseo del Norte transition from being outside lanes in cross section 7.4, to median lanes in cross section 7.1, and then back to outside lanes in cross section 6?
9. Page 187 / 188 - Which side of the road is the multi-use trail on in cross section ST7.3 for Unser Blvd. and ST7.4 for Paseo del Norte? What is the purpose of the multi-use trails as they are not part of the other cross-sections for Unser Blvd. and Paseo del Norte.

10. Page 197 – I do not agree with section 10.7.2 and table 10.2. Please refer to the figure below that shows four different square ~10 acre parcels (~660' x 660'). Two parcels contain regional center zoning that is supposed to allow more auto oriented use, one parcel is mixed use, and one parcel is town center. If one looks at the two parcels with regional center zoning the corner adjacent to the two "B" streets (Unser Blvd and transit Rd / Loop Rd) would be the most desirable corner for auto oriented uses. However, one is to access this corner via an internal "B" street, then any other internal street within the regional center would need to be an "A" street with the associated "A" streetscape to meet the requirements of table 10.2. Conversely, if one looks at the mixed use or town center parcel which are completely surrounded by "A" streets, internal auto oriented "B" streets can divide these parcels into four smaller parcels (each ~330' x 330') while meeting the requirements of table 10.2. It is counter-intuitive that the more pedestrian oriented town center can be built out with more auto-oriented "B" street flexibility than the regional center zones which are supposed to be more auto-oriented.

This situation arises because Unser Blvd. and Paseo del Norte are classified as "B" streets. While these two regional highways are definitely auto-oriented, they are limited access roadways that do not provide direct site access. Both Unser Blvd. and Paseo del Norte also have "A" street characteristics such as bike lanes and multi-use trails.

I fully support that the entire plan area should incorporate features to create a walkable environment; however, in order to avoid the problems cited above, Unser Blvd. and Paseo del Norte should be classified as "A" streets for determining the percentages in table 10.2.



11. Page 225 - The legend Volcano Mesa Road Network map should reflect that intersections are approved, not proposed.

Additional Comment

I would also like to comment that I fully support Policy 13.3.1 / 13.3.1 i on page 216 regarding Regionally Significant Roads, section 14.1 regarding Priority Capital Improvement Projects on page 234, and the inclusion of the Fiscal Impact Analysis (Appendix E), in the adopted VHSDP. Policy 13.3.1 originated from condition 96 in the previous EPC notice of decision dated December 10, 2012 following public comment regarding regional infrastructure needs. I would like to ask for EPC's re-affirmation of this policy as there is a continued need for constructive dialogue between the City and landowners to plan both the build out of the regional transportation infrastructure of the two regional highways (Unser Blvd. and Paseo del Norte), along with associated "backbone" utility infrastructure to be located along the right-of-way of these highways, while landowners concurrently plan for the secondary roadway and utility infrastructure in the VHSDP plan area.

Respectfully,

James Hoffman

817-551-4335 (work)

817-568-6971 (fax)

817-689-4897 (cell)

Attachment C – Fugitive Dust Amendment

Fugitive Dust Amendment

In order to minimize opportunities for fugitive dust during site development and construction, development shall comply with the following standards:

- a. All development over $\frac{3}{4}$ acres must comply with the joint Albuquerque and Bernalillo County Fugitive Dust Ordinance found in the New Mexico Administrative Code 20.11.20.
- b. All development must comply with the City Drainage Control Ordinance and the Flood Hazard Control Ordinance, including a requirement for an approved Erosion and Settlement Control Plan prior to being issued a grading permit.
- c. Due to the area's proximity to the Petroglyph National Monument and the importance of protecting petroglyphs from fugitive dust, preferred methods for soil stabilization should be incorporated where appropriate.
- d. For all non-residential and mixed-use developments, grading permits shall only be issued concurrently with building permits. For developments over $\frac{3}{4}$ of an acre, applicants shall provide proof of a 20.11.20 NMAC Fugitive Dust Control Permit from the Environmental Health Department prior to being issued a building permit.
- e. For exclusively residential developments, a grading permit shall only be issued after a preliminary plat and an Erosion and Sediment Control Plan have been approved.
- f. Grading within public rights-of-way or public easements is exempt.

Volcano Cliffs: On page 92, Chapter 5 – General Regulations D – Construction Mitigation, replace Standard CM 1 with the language above. In Standard CM-2, delete the final sentence, which has been incorporated in the language above.

Volcano Heights: On page 116, Section 6.5.3, delete the final sentence, which has been incorporated in the language above. Add a new Section 6.5.4 with the language above. Delete 6.6.2 in its entirety and renumber subsequent sections accordingly.

Volcano Trails: On page 62, Chapter 4 – General Regulations C – Construction Mitigation, replace Standard CM-1 with the language above. In Standard CM-4, delete the final sentence, which has been incorporated in the language above.

CITY OF ALBUQUERQUE



PLANNING DEPARTMENT
URBAN DESIGN & DEVELOPMENT DIVISION
600 2nd Street NW, 3rd Floor, 87102
P.O. Box 1293, Albuquerque, NM 87103
Office (505) 924-3860 Fax (505) 924-3339

OFFICIAL NOTIFICATION OF DECISION

February 18, 2014

City of Albuquerque
PO Box 1293
Albuquerque, NM 87103

Project# 1008444
13EPC-40160 Text Amendment to Volcano Trails
Sector Development Plan

REQUEST:

City of Albuquerque requests the above action for all of Volcano Trails, zoned SU-2 / VTVC / VTUR / VTRD / VTSL / VTML / RD located near Paseo del Norte and Woodmont Avenue between Major Public Open Space and Universe Boulevard, containing approximately 446 acres. (C-8 & 9)
Staff Planner: Mikaela Renz-Whitmore

PO Box 1293

Albuquerque

New Mexico 87103

On February 13, 2014, the Environmental Planning Commission (EPC), voted that a Recommendation of Approval be forwarded to City Council for Project 1008444, 13EPC-40160, a request for a Text Amendment to the Volcano Trails Sector Development Plan, based on the following Findings and Conditions:

www.cabq.gov

FINDINGS:

1. The Volcano Trails Sector Development Plan (VTSDP) covers an area of approximately 446 acres. The plan boundaries are Universe Boulevard to the east; State land, APS school sites and the North Geologic Window to the south; vacant Bernalillo County land to the west; and Paseo del Norte to the north.
2. This plan is one of three distinct but related sector development plans intended to guide future development in the larger Volcano Mesa Community. The other two plans are the Volcano Heights and Volcano Cliffs Sector Development Plans. The three plans share similar policy underpinnings that are included in a companion amendment to the Rank II, West Side Strategic Plan (WSSP).

OFFICIAL NOTICE OF DECISION

Project #1008444, 13EPC-40160

February 13, 2014

Page 2 of 5

3. Volcano Trails Sector Development Plan currently contains the following zoning: SU-2/VTVC (Volcano Trails Village Center); SU-2/VTRD (Volcano Trails Residential Developing area), SU-2/VTUR (Volcano Trails Urban Residential); SU-2VTSL (Volcano Trails Small Lot residential); SU-2/VTML (Volcano Trails Medium Lot residential). The Plan includes General Standards and General Regulations that are associated to varying degrees with all properties within the Volcano Trails SDP boundary.
4. The Zoning Map is not changed: proposed amendments only affect design standards and do not change zoning or land uses for any property; therefore, they are not subject to R-270-1980 analysis. There is no known opposition from neighbors or property owners.
5. The Albuquerque/Bernalillo County Comprehensive Plan, West Side Strategic Plan, Volcano Trails Sector Development Plan, Northwest Mesa Escarpment Plan, etc. and the City of Albuquerque Zoning Code are incorporated herein by reference and made part of the record for all purposes.
6. The proposed text amendments are consistent with the City Charter, which empowers the City to ensure proper land use and development (City Charter, Article I and support a high-quality urban environment (City Charter, Article IX).
7. The VTSDP is an extension of the Zoning Code through its SU-2 zones; therefore, amendments made to a sector plan's zoning are an amendment made to zoning regulations and are reflected as amendments to the zoning ordinance but do not amend the Zoning Map. The proposed text amendments generally further the intent of the Zoning Code to promote the health, safety and general welfare of the public because it will facilitate appropriate development of the City's West Side.
8. Amendments to the transportation standards support the following goals and policies in the Rank 1 Albuquerque/Bernalillo County Comprehensive Plan:
 - a) II.B. 5 Developing and Established Urban Areas Policy k protecting livability and safety of residential neighborhoods and
 - b) II C 9 Community Identity and Urban Design Policy b protecting natural environment and improving built environment and Policy e matching street design to community identity.
9. The proposed amendments on color restrictions, fugitive dust, and plant lists support goals and policies in several ranked City Plans:
 - a) Rank 1 Albuquerque/Bernalillo County Comprehensive Plan:

OFFICIAL NOTICE OF DECISION

Project #1008444, 13EPC-40160

February 13, 2014

Page 3 of 5

II.B.5 Developing and Established Urban Areas Policy d protecting natural, social, cultural and recreational resources and Policy m protecting vistas and improving quality of visual environment;

II.B.1 Open Space Policy c ensuring compatibility with open space network;

II.C.8 Developed Landscape Policy a protecting significant features in natural and visual environment, and

II.C.9 Community Identity and Urban Design Policy b protecting natural environment and improving built environment.

- b) Rank 2 West Side Strategic Plan: Policies 3.99 and 3.103 protecting the Escarpment, view sheds, and cultural resources.
- c) Rank 3 Northwest Mesa Escarpment Plan: Policies 12, 20, and 21 ensuring that development is compatible with the natural landscape by minimizing visual contrast.

10. There is no known opposition to these amendments.

CONDITIONS:

1. On page 7, Exhibit 6, in the Volcano Mesa roadway network map, change the symbol at the southern terminus of Transit Boulevard to indicate a full-access, signalized intersection. Delete "proposed" from the caption.
2. On page 6, Exhibit 5 and page 7, Exhibit 6, change the designation of Woodmont Ave. to a minor arterial.
3. On page 6, Exhibit 5, in the Volcano Mesa roadway network map, update the legend to delete "proposed" where it appears.
4. On page 42, II – General Standards, Utilities, add a new section "3. General" as follows:

3. General. Electric infrastructure is planned and constructed in response to new development. New electric transmission lines and multiple substations will be needed within the Volcano Mesa area to provide electric service once regional employment center development occurs. Substations typically require two-acre parcels of land. It may be necessary for substations to be located near the electric load in the Plan area. Transmission lines should be located along arterial streets, major drainage channels, non-residential collector streets and other potential corridors as directed by the Facility Plan: Electric System Transmission and Generation (2010-2020).
5. On page 62, Chapter 4 – General Regulations C – Construction Mitigation, replace Standard CM-1 with the following language proposed as a Fugitive Dust Amendment:

OFFICIAL NOTICE OF DECISION

Project #1008444, 13EPC-40160

February 13, 2014

Page 4 of 5

In order to minimize opportunities for fugitive dust during site development and construction, development shall comply with the following standards:

- a. All development over ¼ acres must comply with the joint Albuquerque and Bernalillo County Fugitive Dust Ordinance found in the New Mexico Administrative Code 20.11.20.
- b. All development must comply with the City Drainage Control Ordinance and the Flood Hazard Control Ordinance, including a requirement for an approved Erosion and Settlement Control Plan prior to being issued a grading permit.
- c. Due to the area's proximity to the Petroglyph National Monument and the importance of protecting petroglyphs from fugitive dust, preferred methods for soil stabilization should be incorporated where appropriate.
- d. For all non-residential and mixed-use developments, grading permits shall only be issued concurrently with building permits. For developments over ¾ of an acre, applicants shall provide proof of a 20.11.20 NMAC Fugitive Dust Control Permit from the Environmental Health Department prior to being issued a building permit.
- e. For exclusively residential developments, a grading permit shall only be issued after a preliminary plat and an Erosion and Sediment Control Plan have been approved.
- f. Grading within public rights-of-way or public easements is exempt.

In Standard CM-4, delete the final sentence, which has been incorporated in the proposed amendment language above.

6. In the proposed Fugitive Dust Amendment, edit item (a) to read "3/4 acres or over."
7. In the proposed Fugitive Dust Amendment, add the following language as a new item (f) and renumber subsequent items accordingly:

In situations that require grading without a building permit or a preliminary plat, or in advance of a building permit or a preliminary plat, the City Engineer may grant a grading permit if an applicant makes a special request, provided that the requirements in items (a) through (c) above are met, as well as other requirements from both the City Engineer and the City Environmental Health Department.

8. The following policy shall be added in the most appropriate location:

Bicycle facilities, including on-street bicycle lanes and multi-use trails, should be designed and developed to meet safety considerations as provided in the Institute for Transportation Engineers (ITE) or American Association of State Highway Transportation Officials (AASHTO) standards.

9. Staff shall address concerns and issues raised by stakeholders as this plan progresses to City Council, including, but not limited to: (1) blasting; (2) residential garages; (3) integral stucco color, and (4) land development standards vs. design standards for already platted portions of the SU-2/ VTRD zone.

OFFICIAL NOTICE OF DECISION

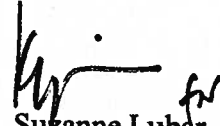
Project #1008444, 13EPC-40160

February 13, 2014

Page 5 of 5

PROTEST: It is not possible to appeal EPC Recommendations to City Council; Rather, a formal protest of the EPC's Recommendation can be filed within the 15 day period following the EPC's decision, which is by **FEBRUARY 28, 2014.**

Sincerely,



Suzanne Lubar
Planning Director

SL/MRW/mc

cc: James Hoffman, via email
René Horvath, Taylor Ranch Neighborhood Association, via email
Jim Strozier, via email
Hugh Floyd, via email
Diane Souder, National Park Service, via email

4. Edit the language in Policy 3.110 as follows to reflect the approved access points on the limited-access Paseo del Norte and Unser Boulevards:
Access points on Paseo del Norte and Unser Boulevard should be limited to those shown in Exhibit 10, Road Network Map. When constructed, intersections should be carefully designed with multimodal accommodations to ensure safe access for pedestrians and cyclists to enhance the connectivity and walkability of this Major Activity Center, balanced with minimizing delay for regional through traffic.
5. In Exhibit 10, the Volcano Mesa roadway network map, change the symbol at the southern terminus of Transit Boulevard to indicate a full-access, signalized intersection.
6. In Exhibit 10, the Volcano Mesa roadway network map, change the designation of Woodmont Avenue to a minor arterial.
7. In Exhibit 10, the Volcano Mesa roadway network map, delete "proposed" in the legend where it appears.
8. The following policy shall be added in the most appropriate location:
Bicycle facilities, including on-street bicycle lanes and multi-use trails, should be designed and developed to meet safety considerations as provided in the Institute for Transportation Engineers (ITE) or American Association of State Highway Transportation Officials (AASHTO) standards.

MOVED BY COMMISSIONER PECK
SECONDED BY COMMISSIONER MCCOY

MOTION PASSED 5-0

6. Project# 1008444

13EPC-40160 Text Amendment to Sector
Development Plan

City of Albuquerque requests the above action for all of Volcano Trails, zoned SU-2 / VTVC / VTUR / VTRD / VTSL / VTML/RD located near Paseo del Norte and Woodmont Avenue between Major Public Open Space and Universe Boulevard, containing approximately 446 acres. (C-8 & 9)
Staff Planner: Mikaela Renz-Whitmore

STAFF PRESENTING CASE:
Mikaela Renz-Whitmore

PERSONS PRESENT TO SPEAK IN REFERENCE TO THIS REQUEST:
René Horvath, 5515 Palomino Dr NW, Albuquerque, NM 87120
Jim Strozier, 302 8th St NW, Albuquerque, NM 87102
Hugh Floyd, 10536 Vista Bella Pl NW, Albuquerque, NM 87114

Kyle Falls, 6515 Monte Serrano NE, Albuquerque, NM 87111
Russell Brito, Planning Department

SEE ATTACHED TRANSCRIPTS

FINAL ACTION TAKEN:

NOW, THEREFORE, BE IT RESOLVED THAT the Environmental Planning Commission (EPC), voted that a Recommendation of Approval be forwarded to City Council for Project 1008444, 13EPC-40160, a request for a Text Amendment to Volcano Trails Sector Development Plan, based on the following Findings and Conditions:

FINDINGS:

1. The Volcano Trails Sector Development Plan (VTSDP) covers an area of approximately 446 acres. The plan boundaries are Universe Boulevard to the east; State land, APS school sites and the North Geologic Window to the south; vacant Bernalillo County land to the west; and Paseo del Norte to the north.
2. This plan is one of three distinct but related sector development plans intended to guide future development in the larger Volcano Mesa Community. The other two plans are the Volcano Heights and Volcano Cliffs Sector Development Plans. The three plans share similar policy underpinnings that are included in a companion amendment to the Rank II, West Side Strategic Plan (WSSP).
3. Volcano Trails Sector Development Plan currently contains the following zoning: SU-2/VTVC (Volcano Trails Village Center); SU-2/VTRD (Volcano Trails Residential Developing area), SU-2/VTUR (Volcano Trails Urban Residential); SU-2VTSL (Volcano Trails Small Lot residential); SU-2/VTML (Volcano Trails Medium Lot residential). The Plan includes General Standards and General Regulations that are associated to varying degrees with all properties within the Volcano Trails SDP boundary.
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8. Amendments to the transportation standards support the following goals and policies in the Rank 1 Albuquerque/Bernalillo County Comprehensive Plan:
 - a) II.B. 5 Developing and Established Urban Areas Policy k protecting livability and safety of residential neighborhoods and
 - b) II C 9 Community Identity and Urban Design Policy b protecting natural environment and improving built environment and Policy e matching street design to community identity.
9. The proposed amendments on color restrictions, fugitive dust, and plant lists support goals and policies in several ranked City Plans:
 - a) Rank 1 Albuquerque/Bernalillo County Comprehensive Plan:
 - II.B.5 Developing and Established Urban Areas Policy d protecting natural, social, cultural and recreational resources and Policy m protecting vistas and improving quality of visual environment;
 - II.B.1 Open Space Policy c ensuring compatibility with open space network;
 - II.C.8 Developed Landscape Policy a protecting significant features in natural and visual environment, and
 - II.C.9 Community Identity and Urban Design Policy b protecting natural environment and improving built environment.
 - b) Rank 2 West Side Strategic Plan: Policies 3.99 and 3.103 protecting the Escarpment, view sheds, and cultural resources.
 - c) Rank 3 Northwest Mesa Escarpment Plan: Policies 12, 20, and 21 ensuring that development is compatible with the natural landscape by minimizing visual contrast.

10. There is no known opposition to these amendments.

CONDITIONS:

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In order to minimize opportunities for fugitive dust during site development and construction, development shall comply with the following standards:
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 - e. For exclusively residential developments, a grading permit shall only be issued after a preliminary plat and an Erosion and Sediment Control Plan have been approved.
 - f. Grading within public rights-of-way or public easements is exempt.

In Standard CM-4, delete the final sentence, which has been incorporated in the proposed amendment language above.

6. In the proposed Fugitive Dust Amendment, edit item (a) to read "3/4 acres or over."
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Bicycle facilities, including on-street bicycle lanes and multi-use trails, should be designed and developed to meet safety considerations as provided in the Institute for Transportation Engineers (ITE) or American Association of State Highway Transportation Officials (AASHTO) standards.

9. Staff shall address concerns and issues raised by stakeholders as this plan progresses to City Council, including, but not limited to: (1) blasting; (2) residential garages; (3) integral stucco color, and (4) land development standards vs. design standards for already platted portions of the SU-2/ VTRD zone.

MOVED BY COMMISSIONER PECK
SECONDED BY COMMISSIONER MCCOY

MOTION PASSED 5-0

7. Project# 1008444
13EPC-40162 Text Amendment to Sector
Development Plan

City of Albuquerque requests the above action for all of Volcano Cliffs, zoned SU-2 / VCVC / VCUR / VCRR / VCMX / VCLL or R-1, located near Unser Boulevard and Rainbow Boulevard between Boulevard de Oest and the Petroglyph National Monument, containing approximately 2,327 acres. (C-8-11, D-8-11)
Staff Planner: Mikaela Renz-Whitmore

STAFF PRESENTING CASE:
Mikaela Renz-Whitmore

PERSONS PRESENT TO SPEAK IN REFERENCE TO THIS REQUEST:
René Horvath, 5515 Palomino Dr NW, Albuquerque, NM 87120
Jim Strozier, 302 8th St NW, Albuquerque, NM 87102
Hugh Floyd, 10536 Vista Bella Pl NW, Albuquerque, NM 87114

CITY OF ALBUQUERQUE
ENVIRONMENTAL PLANNING COMMISSION

M I N U T E S

**PROJECT NOS. 13EPC-40159,
-40160, -10062, -40161**

FEBRUARY 13, 2014

COMMISSION MEMBERS PRESENT:

Peter Nicholls, Chair
James Peck, Vice Chair
Doug Peterson
Maia Mullen
Bill McCoy
Moises Gonzalez
Patrick Griebel

STAFF MEMBERS PRESENT:

Mikaela Renz-Whitmore, Planner
Russell Brito, Planning Department
Madeline Carruthers, Admin. Assistant

1 CHAIR NICHOLLS: I believe we're ready for Agenda
2 Item Number 5, then 6, then 7 and 8.

3
4 Ms. Renz-Whitmore, if you're ready.

5
6 MS. RENZ-WHITMORE: I am. Thank you, Mr. Chair,
7 Commissioners.

8
9 Again, this presentation will be talking about
10 Agenda Items 5 through 8. These plans are separate, but
11 related. And we'll get into that.

12
13 I have a bit of housekeeping before my
14 presentation starts. I wanted to make sure that
15 everyone has all of the materials that pertain to all of
16 these cases. So you should have a staff report for the
17 West Side Strategic Plan Volcano Mesa amendments, staff
18 reports for the Volcano Cliffs, Volcano Heights and
19 Volcano Trails.

20
21 There was a question about Attachment A for the
22 West Side Strategic Plan staff report. That is only one
23 redline, which is the map of the road network. That was
24 the only redline for the West Side Strategic Plan. I
25 just wanted to let you and the public know that that was
26 not a mistake. That really is the only redline.

27
28 In addition, there is matrix, a summary matrix
29 of the amendments. The top portion of that matrix, it
30 should look something like that. The top portion of
31 this matrix includes the planning department's request
32 for amendments that were submitted to the EPC in
33 December of 2013. The bottom portion of this matrix
34 refers to additional changes that the planning
35 department has requested as part of the conditions of
36 approval for the different plans. The numbers in that
37 matrix in brackets refer to the spreadsheets of
38 comments, which is another handout that refers to all
39 four plans. It summarizes the request source, what
40 they're requesting, staff response, and then if there is
41 a condition attached to those separate plans, it's there
42 on the right-hand side.

43
44 Any questions about the various items before
45 you for review before I start?

46
47 COMMISSIONER GONZALEZ: No. I'm ready to make a
48 motion.

49
50 MS. RENZ-WHITMORE: All right. First an

1 orientation. So we're talking here about the Volcano
2 Mesa area. That's the larger area that we're talking
3 about. That community area was defined in the West Side
4 Strategic Plan in an amendment adopted in 2011
5 designating this area as the Volcano Mesa community
6 area.

7
8 Within Volcano Mesa are three sector
9 development plan areas. Volcano Cliffs was the first to
10 be adopted in 2011. Volcano Trails came hard after in
11 August of 2011. A slight reprieve for you all, and then
12 the Volcano Heights Plan was adopted in 2013.

13
14 You'll note that the map that you may have
15 studied is slightly different from this one because of
16 the clerical improvements to the map. We realized that
17 this portion that is not within the sector plan is
18 within the community planning area called Volcano Mesa.
19 That area is sometimes referred to as Molten Rock,
20 sometimes referred to as SAD 228. That area is part of
21 Volcano Mesa, but not covered by one of the Volcano
22 sector development plans.

23
24 So this area in general is surrounded on all
25 sides by open space and the Petroglyph National
26 Monument, about 7,000 acres of pristine, beautiful open
27 space, permanently protected as a national monument, or
28 as major public open space owned by the City of
29 Albuquerque, jointly managed by the open space division
30 and the National Park Service.

31
32 Other key things to note on the map, you've got
33 Paseo del Norte coming in from the east, makes a strange
34 turn in Volcano Heights, and then heads back East along
35 the northern boundary of Volcano Trails. The other
36 notable road is Unser Boulevard. You've just been
37 talking about it. This is farther to the north, where
38 you see it again kind of curved. It breaks through the
39 escarpment here, comes up along the Boca Negra Canyon,
40 that's this hatched area here, and continues north to
41 the City of Albuquerque limits and into the Rio Rancho
42 area.

43
44 These plans are all connected. Because of
45 their unique context next to the Petroglyph National
46 Monument, there is policy justification for treating
47 development in these areas specially, making sure that
48 we do a good job of insuring that development is
49 compatible with that open space. In addition, Volcano
50 Heights is also designated a major activity center.

1 That's a change since you last saw it. The
2 comprehensive plan did designate it as a major activity
3 center, with the centers and corridors map update that
4 came before you and then was adopted by city council
5 also in 2013.

6
7 So here's just a summary slide. What I'd like
8 to do today is only hit the highlights of the key
9 amendments that the planning department is requesting
10 that are common among at least three of the plans. Also
11 noting one notable exception, a request that came in
12 from the Volcano Cliffs Property Owners Association.

13
14 Again, we note that these plans were all
15 adopted in different times in a sequential order. The
16 Rank 2 west side strategic plan was first, and the key
17 amendments for the West Side Strategic Plan is the road
18 network map.

19
20 I'd like to say that the impetus for bringing
21 all of these plans to you for amendments was the Volcano
22 Heights Plan went into much greater detail looking at
23 the road network. So when the West Side Strategic Plan,
24 Volcano Cliffs and Volcano Trails were passed, we had
25 not yet done detailed analysis of the road network in
26 Volcano Heights. And we also had not changed the access
27 to Paseo del Norte and Unser Boulevard, the changes in
28 the intersection allowed within the area.

29
30 So once that happened in Volcano Heights, we
31 knew that we were going to have to amend all four plans
32 to make the road network consistent. And while we were
33 doing that, we wanted to also go backward in time and
34 bring up to date all of the various substantive content
35 that had been adjusted and we think improved with each
36 plan as it went through.

37
38 So many of the amendments are cleanup in
39 nature. The intent is to bring all of the plans closer
40 to consistency, except where they need to be separate,
41 because they're different context. And let me just walk
42 through a few of these for you.

43
44 So first we've got the road network map, and
45 the key things that we're asking you to change today
46 Woodmont Avenue, through Volcano Trails, was originally
47 shown as a collector. The Mid Region Council of
48 Governments, sometimes referred to as MRCOG, is
49 currently going and updating its long range roadway
50 system -- sorry for all of these acronyms -- the long

1 range roadway system map. That's the LRRS map, I guess.

2
3 In that interim map, they are showing Woodmont
4 as a principal arterial. We've had conversations with
5 DMD, our department of municipal development here at the
6 city, about requesting that that road be changed to a
7 minor arterial within this area, not going on all the
8 way to a principal arterial. So at the moment what
9 we're requesting is that this Woodmont Avenue here
10 within Volcano Trails be shown as a minor arterial.

11
12 Secondly, this intersection here at the bottom
13 of what we're proposing to be a transit boulevard, here
14 through Volcano Heights, it was originally noted as a
15 right-in/right-out intersection. It's actually, by
16 resolution of the transportation coordinating committee
17 of the metropolitan transportation board, designated as
18 a High-T intersection, and I can talk you through what
19 that high T means. But in essence, it's full access
20 intersection; it means it's signalized, you can turn in
21 any direction, but it's nuanced engineering form of a
22 full access intersection.

23
24 And then lastly, the legends incorrectly stated
25 that these are proposed full access intersection, when
26 actually they are currently approved, again by the TCC
27 body, a committee of the metropolitan transportation
28 board.

29
30 So if you are to approve all of those, this map
31 is more what we'd like it to see. So you see, again,
32 those changes. The Woodmont Avenue is a minor arterial.
33 We've changed this symbol to reflect that it's a
34 full-access intersection. And you no longer see
35 "proposed" for the full intersection.

36
37 This is just a quick -- it's actually a video,
38 if you really wanted to see it. It's at your pleasure,
39 by the way. But this is the High-T intersection. This
40 is not drawn to scale for this particular area. I found
41 it as a model that a school had provided to just show
42 how the intersection generally works. But you can see
43 that -- pretend for a second that this is Paseo del
44 Norte heading east. These cars are heading east toward
45 the escarpment. Here is Transit Boulevard, heading
46 north. So you would have a light here. So these cars
47 wanting to turn left on Transit Boulevard would stop at
48 the light until they got a green, and then could cross
49 here. These cars heading west on Paseo del Norte would
50 have to stop so those cars could make that turning

1 movement. But the cars traveling east on Paseo del
2 Norte, which is the highest peak commute hours in the
3 morning, heading east to Albuquerque, where 80 percent
4 of the jobs in the region are, those cars would not have
5 to stop for those turning movements. So they have a
6 free flow movements protecting that peak-hour commute so
7 that congestion is controlled in this particular
8 intersection.

9
10 Any questions about that yet, or can I -- do
11 you need to see the video?

12
13 CHAIR NICHOLLS: Commissioner Gonzalez.

14
15 MS. RENZ-WHITMORE: Please.

16
17 COMMISSIONER GONZALEZ: Where am I with my little
18 helmet here?

19
20 No, I mean, seriously, in this whole map, I
21 don't see any -- and certainly in that High-T there, I
22 might as well just sit out in the middle of the road and
23 wait to get hit. I'm just wondering.

24
25 MS. RENZ-WHITMORE: Thank you, Mr. Chair,
26 Commissioner Gonzalez. Again, this is just a model, so
27 it doesn't reflect the bike lanes, the multi use trail
28 that are planned for Paseo del Norte in this particular
29 location. But your point is well taken. The High-T
30 intersection works best for cars and --

31
32 COMMISSIONER GONZALEZ: I'm sorry. I don't mean to
33 interrupt, but I'm not just -- part of the problem that
34 we have is that bicycle facilities are pasted on
35 afterwards instead of engineered into the whole program
36 from the beginning. So that's why I'm wondering why it
37 isn't included here.

38
39 The other comment that I want to make is that
40 MRCOG and the projections that we make -- and I
41 understand why from a traffic point of view you want to
42 make sure that people can move to the east, but the
43 other problem is that we keep on making allowances to
44 make -- to make it more convenient for people to live on
45 the west side. MRCOG is constantly acting as though
46 their protections are prophecies and that we have to
47 keep on behaving this way because that's the way that we
48 have built everything. And so everybody gets to sleep
49 over here and go over there. You know, I think we're
50 trying to get away from that.

1 So I'm wondering how -- as often -- where does
2 the rubber meet the road, or stop meeting the road, I
3 guess?
4

5 MS. RENZ-WHITMORE: Thank you for that question,
6 actually. It's wonderful. Two answers. There's a lot
7 of discussion that can happen around that question, by
8 the way. But two answers, and then I'll keep moving in
9 the presentation.
10

11 One is that all of the roads within this area
12 have cross sections attached to them that are very
13 carefully designed to be multi-modal. In this
14 particular instance, with the High-T intersection, which
15 was not originally envisioned with those cross sections,
16 there will need to be a high degree of engineering.
17 Each of the plans mentions every time we can the
18 importance of having multi-modal accommodations and safe
19 accommodations for pedestrians and bicycles in this area
20 precisely because these sector development plans are
21 trying for a development pattern that's not typical of
22 the west side, that is -- that does allow density within
23 centers that are designated and planned and multi-modal
24 by nature from their DNA all the way through the
25 implementation and the approved design, as well as this
26 intersection in general is about the Transit Boulevard.
27

28 So the Mid Region Council of Governments
29 transit arm, Rio Metro, is currently planning a BRT line
30 that would connect Rio Rancho to the north, down this
31 Transit Boulevard, back out onto Paseo del Norte to
32 connect up to the Journal I-25 center. That transit
33 connection between Rio Rancho and the jobs on the east
34 is exactly intended to interrupt the business of usual
35 flow of only cars being able to cross the river in the
36 mornings. But this provides an alternative, an
37 alternative living pattern, frankly, in Volcano Heights
38 with a walkable district that allows people to make
39 separate choices.
40

41 The multi-use trails that are currently planned
42 for Paseo del Norte and Unser Boulevard would provide
43 the kind of commuting facility for cyclists to -- for
44 continuity through the area. So we will definitely
45 cycle back to your question. Please hold onto it. But
46 if it's okay, I'd like to just --
47

48 COMMISSIONER GONZALEZ: Is that a pun, or were
49 you...
50

1 MS. RENZ-WHITMORE: Yes.

2
3 COMMISSIONER GONZALEZ: But if I could just mention
4 also that one of the criticisms that I sometimes have is
5 multi-use trails are fantastic, however, if you're
6 actually going to have people use bicycles to get
7 places, they need transit facilities; in other words,
8 ways the bicycles can get from Point A to Point B, and
9 not necessarily a place where people can have fun. And
10 sometimes those things come into conflict. And so I
11 just wanted to keep that in mind, as well.

12
13 MS. RENZ-WHITMORE: Okay. Thank you.

14
15 So the next key amendment is around the issue
16 of fugitive dust. So all of the plans, all of the
17 sector development plans originally had language about
18 construction mitigation. And at the land use planning
19 and zoning committee, while the plans were under review
20 by city council, Councillor Benton, in 2011, when
21 Volcano Cliffs was first being heard, added language
22 that was intended to minimize the potential for fugitive
23 dust during construction, and it had two components.

24
25 One was a commercial component saying that in
26 order to get a grading permit, you had to have a
27 building permit, so that the two would be issued
28 concurrently. The idea being you couldn't grade your
29 site, put it on the market and let it sit for untold
30 years. So you really had to have a plan, you had to be
31 ready to construct something before you were issued a
32 grading permit.

33
34 The second component was residential. And the
35 language basically said for any residential development
36 over ten acres, you had to stabilize the soil within
37 three months. And that was -- that language was adopted
38 into cliffs, subsequently in trails, and, again, in
39 Volcano Heights, the exact same language, all three
40 plans.

41
42 Then came last summer, with construction
43 blasting related to Special Assessment District 228 in
44 Volcano Cliffs. At that time there were also several
45 summer storms that kicked up a lot of wind, rain. There
46 were drainage and flooding issues, which you may hear
47 more about today, the city, pardon the pun again,
48 received a flood of calls. And we realized we had
49 another opportunity to look at that language, and we
50 also had some specific requests from property owners to

1 look to see if there was anything we could strengthen in
2 the language and the plan to help protect from that
3 occurring again.
4

5 So at that time, in December 2013, when we
6 first submitted to the EPC, we amended the language to
7 say not only commercial but mixed use and residential
8 developments, you all had to have a building permit
9 before you could get your grading permit. And we kept
10 the language about residential developments needed to be
11 stabilized within three months.
12

13 Then we had a little time between the submittal
14 and this hearing and we went and talked to environment
15 health, we talked to the city hydrologist and the
16 building and safety division manager, and realized that
17 some of our language is highly problematic, particularly
18 for residential developments on a large scale. And so
19 the language that is currently in the three sector
20 development plans as conditional language for you to
21 approve basically does this. Instead of creating new
22 regulations that nobody really knew how to enforce or
23 who would enforce, it didn't really have staff to
24 enforce, the language now specifically references the
25 existing regulations in place.
26

27 So currently people have to go to environmental
28 health to get a fugitive dust permit anytime they
29 disturb more than three-quarters of an acre of soil,
30 regardless of what they're building. So that's on the
31 books today. At the same time, in order to get a
32 grading permit, you have to show the city hydrologist an
33 erosion and sediment control plan, and get it approved,
34 as well as anything required under the flood hazard
35 control ordinance. So, again, these are two currently
36 existing, parallel regulations.
37

38 We added here for your consideration language
39 that says you have to show proof before you can get a
40 grading permit and a building permit that you've gone
41 and done your fugitive dust permit. So we'll change
42 some forms, there will be an additional check box. It's
43 not that you have to do it -- you have to do anything
44 differently, you just have to show proof that you've
45 done what you're supposed to do.
46

47 We're keeping the commercial plus mixed use, so
48 the addition of mixed use to the language that
49 Councillor Benton proposed. And lastly, for the
50 residential component, after talking again with the

1 folks here who approve all of those residential
2 developments, instead of showing a building permit,
3 which doesn't really work with how people really develop
4 the land, you would have to show an approved plat and an
5 approved erosion control permit, again, which you'd have
6 to get anyway. It's just the timing of when you show
7 proof of these things that we're changing. So I'm sure
8 there will be lots of discussion of that.
9

10 And here's one that's specific to Volcano
11 Cliffs. So the Volcano Cliffs Property Owners
12 Association, which is highly involved in the drafting of
13 the Volcano Cliffs plan, is requesting an additional
14 allowance for walls in the rural residential zone. So
15 currently, as the plan is written, all you can have is a
16 perimeter fence, and that perimeter fence has to be a
17 view fencing, because the idea is to have that
18 connection with the open space that surrounds it.
19

20 They're requesting walls that could be attached
21 to the house to create a private courtyard, either in
22 the back or in the front, or perhaps to enclose a pool.
23 So there are several ways that those walls would -- we
24 could ensure that those walls don't become walls on
25 perimeter. One is, they have to be attached to that
26 main dwelling, as I said. They can't protrude on any of
27 the building setbacks. The materials have to compliment
28 the main dwelling. Both the materials have to
29 compliment, and the color has to be per the regulations
30 in the plan. That's to, again, make sure that
31 development is complimentary to the open space area that
32 surrounds it.
33

34 And lastly, the total area of any enclosed --
35 the combination of any enclosed areas in your yard,
36 whether it's front, back or both, is limited to 1,000
37 square feet, the larger of 1,000 square feet, or
38 50 percent of your total square footage up to a maximum
39 of 2,000 square feet. So this language is largely taken
40 directly from the request from the property owners
41 association, with a little bit of tweaking from us, to
42 make sure that our code enforcement folks liked the
43 language.
44

45 The other issues that you're going to hear
46 about today that are noted in the spreadsheet of
47 comments but don't necessarily have resolution, DMD, as
48 well as one of the private property owners, is asking
49 about where the multi-use trails -- which side of the
50 road the multi-use trails are planned to be on for Paseo

1 and Unser. And the answer is, we don't know yet. The
2 plans all have language that say the elements in any
3 cross section can be rearranged based on future
4 engineering and decision making from city agencies.

5
6 Another property owner is also asking about why
7 the cross sections for Paseo here, right on the boundary
8 between Cliff to the south and Heights to the north, why
9 the transit location in those cross sections moved. And
10 the answer is because the transit doesn't know where it
11 wants to be yet. And so we're showing different
12 options. And, again, that language in the plan saying
13 that those elements can move around, we think provides
14 sufficient protection for any future eventuality.

15
16 And lastly, a question, a very detailed
17 question about Volcano Heights, which we can get into in
18 Moore detail. I have prepared some initial analysis,
19 that I will pull out later if it's appropriate, about
20 whether Unser Boulevard and Paseo del Norte, for the
21 purposes of the Volcano Heights plan should be called A
22 streets, which the plan talks about as pedestrian
23 oriented, or B streets, which the plan talks about as
24 auto oriented. So we can get into that discussion a
25 little bit later.

26
27 I've taken plenty of your time. I do have more
28 to say as public comments unfold. But at this moment, I
29 stand for questions.

30
31 CHAIR NICHOLLS: Commissioners.

32
33 So what I think, I need you to give me some
34 instruction here as to how to proceed. Are we going to
35 take each one of these in turn and then vote? What's
36 the options here? What are the options here?

37
38 MS. RENZ-WHITMORE: Thank you, Mr. Chair,
39 Commissioners. I believe the public comment will likely
40 be a combination -- addressing a combination of the
41 plans. So if possible, I'd like to keep the public
42 comments open to all four agenda items. And then after
43 public comments and after discussion, in response to
44 those comments, we can take final action plan by plan.

45
46 CHAIR NICHOLLS: Okay. So your proposal is to
47 launch straight into specifically Agenda 5? Is that
48 what I thought I heard?

49
50 MS. RENZ-WHITMORE: I was actually offering to you

1 letting public comment be Agenda 5 through 8.

2
3 CHAIR NICHOLLS: Oh, yes, absolutely. But what I'm
4 trying to get to is to hear each one of these, because
5 each one needs to be voted on separately. Yes.

6
7 Mr. Brito.

8
9 MR. BRITO: Thank you, Mr. Chair. I think if
10 you're comfortable, we can just keep the floor open for
11 all four items and maybe ask any public speakers to
12 specify which plan they're speaking to so that we can
13 take notes about comments for West Side Strategic Plan,
14 or one of the three Volcano sector plans. And then, you
15 know, once the floor is closed, you know, it would be up
16 to you whether you want to -- you know, first let's take
17 on the West Side Strategic Plan discussion. But I would
18 recommend that you not take any action on individual
19 cases until you've discussed them all.

20
21 CHAIR NICHOLLS: Okay. So then do we have anyone
22 signed up?

23
24 COMMISSIONER GONZALEZ: May I ask one more
25 question?

26
27 CHAIR NICHOLLS: Yes.

28
29 COMMISSIONER GONZALEZ: As we're talking about once
30 again the -- I'm disturbed by the lack of mention of
31 bicycle facilities. And I'm just wondering if there's
32 any reason that the solution that we found in the last
33 case is one that cannot be applied here, that bicycle
34 facilities will meet ASHTO guidelines? It's a big
35 sandwich, but the city -- the city has a problem that we
36 have bicycle facilities that don't meet guidelines and
37 they're dangerous facilities. So if you're going to put
38 it on the map and you're going to say we have a bicycle
39 facility, there needs to be an appropriate bicycle
40 facilities. You can't give somebody 30 inches of space
41 and a ditch and say it's a bicycle lane.

42
43 And I'm afraid that what's going to happen
44 here, that's happened other places, because it's not in
45 the DNA of the plan, that that's what's going to end up
46 happening, well, we just have this much right-of-way, so
47 we can't put in a real bicycle lane. Well, if you're --
48 you know, either meet the guidelines, or don't put in
49 the bicycle facility.

50

1 MS. RENZ-WHITMORE: Mr. Chair, Commissioners,
2 Commissioner Gonzalez, I think your question, in my
3 mind, brings up potentially two avenues. It's all about
4 puns today. One is, I think we might need to look at
5 the cross sections for the plans and see -- how do you
6 see what's proposed? Most of the cross sections do you
7 proposal a bike lane and additionally a bike buffer?
8

9 My -- my hesitation about the ASHTO standards
10 is I believe that the Volcano Heights plan currently
11 specifies that the ITE manual will be looked at for the
12 cross sections as they're engineered in the final steps.
13 And I'm not sure how the ITE and the ASHTO may conflict.
14 Hopefully they don't, but in the case that they do, or
15 in the case that the cross sections individually that
16 are already adopted in the plan don't comport to the
17 letter of those standards, I don't want to create a knot
18 of standards that people can't actually implement.
19

20 COMMISSIONER GONZALEZ: Wouldn't that be -- or
21 couldn't that be dealt with easily enough by adopting
22 language that says that there are standards that are
23 being followed presently, that those standards will take
24 precedence, and just say in all other cases, ASHTO will
25 be followed?
26

27 MS. RENZ-WHITMORE: Except in the cases where the
28 cross sections in the actual plans may have the same
29 intent, but get at that intention a different way.
30

31 COMMISSIONER GONZALEZ: Okay. But I still have a
32 serious problem with the idea that the bicycle
33 facilities don't need to meet a guideline. Because
34 that's the problem that we -- as I said, it's a problem
35 that we have all over the city. And so it's -- I don't
36 see -- well, actually, I guess I can just make a motion
37 to say that that's what I'd like to see. Because I just
38 don't -- it's just happened so many times that they say,
39 "Well, we can't really do that," and so we end up doing
40 something substandard, which actually puts bicyclist at
41 risk. And then we say, "Well, we can't do anything
42 because that's the way that it's been."
43

44 I think that it needs to be considered from
45 earlier on in the planning phases so that we don't have
46 those situations where you have a lack of right-of-way
47 but you have a bicycle lane. And the city is going to
48 have to come to terms with it. And I think that
49 actually, not to sound litigious, but I think if they
50 continue doing what they're going to do and people keep

1 on dying on bicycle facilities, it's going to become a
2 legal problem.

3
4 So I'll make the motion.

5
6 MS. RENZ-WHITMORE: Great.

7
8 CHAIR NICHOLLS: So let me just backtrack here,
9 because -- Commissioner Gonzalez, if I could just take
10 you up on this.

11
12 COMMISSIONER GONZALEZ: Sure.

13
14 CHAIR NICHOLLS: Are you proposing a motion to add
15 a condition to one or more of these?

16
17 COMMISSIONER GONZALEZ: Yes, sir. I would be
18 proposing to add a condition to one and all, I guess,
19 that bicycle facilities should be ASHTO guidelines.

20
21 CHAIR NICHOLLS: And I think that's appropriate.
22 But I think when we come down to the discussion of the
23 individual plan, I'd like to hear that formally for the
24 record so that at any time in the future there's no
25 doubt in anyone's mind as to what this commission was
26 thinking and trying to act on. Not in any way meaning
27 to cut you off, Commissioner, on that, but I think it's
28 better if we take that up individually. And I'd
29 certainly appreciate you adding that in when we come to
30 looking at each individual one and moving forward at
31 that particular point in time.

32
33 Are you comfortable with that?

34
35 COMMISSIONER GONZALEZ: Yes, sir.

36
37 MS. RENZ-WHITMORE: Absolutely.

38
39 CHAIR NICHOLLS: All right. So do we have anyone
40 from the public signed up? How many?

41
42 MS. CARRUTHERS: Six.

43
44 CHAIR NICHOLLS: Six, all right. If you'll go
45 ahead and call the first two, please.

46
47 MS. CARRUTHERS: Okay. They all signed up on
48 different sheets, but we're going to just hear them kind
49 of like one big (inaudible).

50

1 CHAIR NICHOLLS: Yes.
2
3 MS. CARRUTHERS: I'd like to have Renee Horvath,
4 followed by Kyle Falls.
5
6 CHAIR NICHOLLS: Good evening.
7
8 MS. HORVATH: Good morning.
9
10 CHAIR NICHOLLS: If you'd state your name and
11 address for the record, please.
12
13 MS. HORVATH: Okay. My name is Renee Horvath, and
14 I'm with the Taylor Ranch Neighborhood Association.
15
16 (Witness sworn.)
17
18 CHAIRMAN NICHOLLS: And are you representing that
19 association?
20
21 MS. HORVATH: Yes.
22
23 CHAIR NICHOLLS: Then let's start with five
24 minutes, please.
25
26 MS. HORVATH: Okay. And I'm speaking to all the
27 plans. I just want to mention that Taylor Ranch has
28 been involved in this planning process of the Volcano
29 Mesa plans since it began four years ago, and we'd like
30 to comment on the proposed amendments and some of the
31 issues that we're dealing with in Taylor Ranch.
32
33 We do support amendments that give greater
34 protection to the natural and cultural resources, such
35 as the rock outcrops and to curb the fugitive dust. In
36 terms of fugitive dust, Taylor Ranch Neighborhood
37 Association supports the inclusion of residential
38 development in issuing grading permits concurrently with
39 the building permits, as it is with the commercial
40 property.
41
42 And we also want to include clearing and
43 grubbing also and controlling blowing dust. And I just
44 want to mention that the fugitive dust is becoming a
45 huge problem for Taylor Ranch. And not only for Taylor
46 Ranch, but also for the escarpment. This stuff is
47 burying the escarpment, and it's burying the lava rocks,
48 it's killing off the plants, and it's impacting the
49 residents below. It's now also creating erosion on
50 those sandy soils and drainage problems for the

1 residents below the escarpment.

2
3 And I think we need to start paying attention
4 to see what we can do to curb the fugitive dust better,
5 because I know there is, you know, these ordinances, but
6 this is kind of a different situation for the residents
7 down below and for the cultural resources and the
8 natural resources of the open space and the monument.

9
10 And in addition to the clearing and grubbing, I
11 know we're talking about residential development, but
12 clearing and grubbing I've noticed is also occurring
13 along Paseo del Norte. And I'm just wondering how much
14 are they being monitored. When they first started, they
15 started removing the topsoil and all the trees. And
16 over the months now, there's piles of rocks and dirt.
17 At first I didn't see a silt fence. Now I see a partial
18 silt fence but half of it's blown over. So it just
19 seems like we need a little more monitoring of
20 controlling that area. And everybody should understand
21 that if you're going to clear anything or scrape
22 anything, that there are issues -- people and the
23 resources are being impacted, so more care should be
24 taken.

25
26 Also, I want address blasting is another issue
27 which is seriously affecting the residents in Taylor
28 Ranch below the mesa. We feel that blasting needs to be
29 reevaluated and other options encouraged, such as
30 trenching, to stop the damage to residential structures
31 which these residents are experiencing. Because I've
32 been talking to some of them and reading e-mails that
33 they are experiencing cracks in their homes and their
34 walls and it's going -- and each time these things
35 blast, they're filing claims with insurance companies.

36
37 The other issue I wanted to bring up is rock
38 outcrops. We have spent a lot of time commenting on the
39 preservation of the rock outcrops. They're volcanic
40 hills on top of the mesa. They're very unique to
41 Albuquerque. You don't really see them in any other
42 place, but we have them because of the volcanoes and the
43 lava flows. The plan has certain requirements for the
44 rock outcrops to be considered for protection, such as
45 being 500 square feet and 6 feet high in order to be
46 considered to be protected. And I guess there are some
47 maps that locate some of these rock outcrops, but -- and
48 there are some incentives to help preserve those rock
49 outcrops.

50

1 But I guess -- you know, I went out there to
2 actually measure some of them to see if some of the ones
3 that I thought were really unique and should be
4 preserved, to see if they qualified, and a lot of them
5 do, but some of them are just below those criteria that
6 still I think should be incorporated.

7
8 But I guess what I'm concerned about, that even
9 with the incentives, that doesn't mean that they're
10 going to be protected. At first I thought, oh, they're
11 going to be protected because they meet this criteria.
12 But, well, no, they're not, not unless a developer wants
13 to protect them. It's really up to them. So I think
14 more needs to be done.

15
16 Even a comment that I talked to the
17 vulcanologist from the museum of natural history after
18 his lecture, and he's familiar with that area. And he
19 is studying Mars right now, he was in the paper a few
20 weeks ago. But he says, "You know, these rock" --
21 "these" -- could I have a little more time?

22
23 CHAIR NICHOLLS: How long do you think you'll need?

24
25 MS. HORVATH: Oh, three minutes, possibly.
26 Hopefully not that long. I'm finishing up here.

27
28 But I just want to say that he says, you know,
29 "Albuquerque is unique and there's not these rock
30 outcroppings anywhere," and they're all on the west
31 side. So he'd like to see more protection of them.

32
33 And an archaeologist also mentioned that a lot
34 of times there's a lot of archaeological features
35 sometimes that you find on these rock outcrops. And we
36 hopes that they're being monitored, too, for protection.

37
38 And so therefore I'm also making note that
39 there are no parts planned in the planned areas up
40 there, and that private developments could -- will have
41 to create their own parks. So if you look at these rock
42 outcrops, you can look at, hey, you could use these
43 areas and design your developments around them and use
44 them as your parks in your subdivisions. And the Trails
45 development by Volcano Vista High School, that's up
46 there, they've done a fantastic job in designing their
47 subdivision around these rock outcrops and tying them
48 together with a trail, a paved trail.

49
50 So I think we should really encourage

1 protection of them and including them in their -- for
2 parks that they could be designed and design around
3 those rock outcrops. So I think more needs to be done
4 to curb fugitive dust, the blasting and the preservation
5 of these rock outcrops. Thank you.

6
7 CHAIR NICHOLLS: Any questions, Commissioners?

8
9 Thank you.

10
11 Ms. Renz-Whitmore, the one that's up on to
12 screen there, do we have that in our package?

13
14 MS. RENZ-WHITMORE: You do not. I received this
15 after the 48-hour rule. So I did get a definition from
16 environmental health. The clarification that I received
17 is that grubbing and clearing is covered by the current
18 fugitive dust ordinance. So as long as you're grubbing
19 and clearing more than three-quarters of an acre, you
20 are required to get a fugitive dust permit from
21 environment health.

22
23 Grubbing and clearing, particularly for roads
24 and utilities, does not fall under the drainage
25 ordinance that the city hydrologist would look at to
26 issue a grading permit. So you're covered from -- by
27 the environmental health standard, but not necessarily
28 from the hydrology perspective.

29
30 CHAIR NICHOLLS: Thank you.

31
32 Will you call the second speaker, please.

33
34 MS. CARRUTHERS: We have Kyle Falls, followed by
35 Hugh Floyd.

36
37 CHAIR NICHOLLS: Good morning, sir.

38
39 MR. FALLS: Good morning.

40
41 CHAIR NICHOLLS: If you'd state your name and
42 address for the record, please.

43
44 MR. FALLS: Kyle Falls, 6515, Monte Serrano,
45 Northeast, Albuquerque, 87111.

46
47 (Witness sworn.)

48
49 CHAIR NICHOLLS: Are you representing yourself or a
50 neighborhood?

1
2 MR. FALLS: I represent the Volcano Cliffs Property
3 Owners Association. I'm vice president there.
4

5 CHAIR NICHOLLS: We'll start you with five minutes,
6 then.
7

8 MR. FALLS: And I just want to say that they've
9 done a great job in putting this together, and we
10 support it, every item on here.
11

12 The privacy walls, if you want to call them
13 courtyards, we're for that also. So we agree with the
14 perimeter fence being a see-through fence, but we felt
15 like it was pretty important to have a privacy patio
16 there where you could enclose a pool or have a private
17 gathering where you're not in view of public view.
18

19 And I can address some of these concerns. You
20 know, as -- talking about the fugitive dust, as it grows
21 out there and develops, that dust goes away. So I just
22 feel like, you know, as time goes by, and it won't take
23 that long, but houses are already being constructed, as
24 we know, out there. So as building happens, the dust
25 problem goes away.
26

27 There was a concern also about outcroppings of
28 those rocks. And remember, these outcroppings now are
29 on property that's privately owned. We're not talking
30 about the Petroglyph Monument anymore. There could be a
31 home or there could be a business on an outcropping
32 piece of property. So consider that. What do you do?
33 You're not going to let that person build because
34 there's an outcropping there? Well, you better buy that
35 property, I guess, if you want to protect it, otherwise
36 there's going to be a building on it.
37

38 And then the blasting, I spoke with Steve
39 Metro, who is the head engineer at Wilson and Company,
40 and they're the ones that are doing all that
41 infrastructure, and he told me that the blasting is just
42 about done. Now, on those rock outcroppings, there may
43 be a need, as building happens, for a little bit more of
44 that. But it will be very minor. So I think the -- you
45 know, the biggest problem was putting in the drainage.
46 And in doing that, that was where they were having to
47 blast quite a bit. But putting a home up and you have a
48 little outcropping, probably wouldn't be much.
49
50

1 So that's about all I have to say.
2
3 CHAIR NICHOLLS: Thank you, sir.
4
5 Questions, Commissioners?
6
7 Thank you for coming?
8
9 MR. FALLS: Thank you very much.
10
11 CHAIR NICHOLLS: The third one was.
12
13 MS. CARRUTHERS: Hugh Floyd, followed by Jim
14 Strozier.
15
16 MR. FLOYD: Morning.
17
18 CHAIR NICHOLLS: You look familiar from somewhere.
19 I'm usually good with faces.
20
21 MR. FLOYD: Nightmare (inaudible).
22
23 CHAIR NICHOLLS: Oh, no, I don't think so.
24
25 If you'd state your name and address for the
26 record, please.
27
28 MR. FLOYD: Hugh Floyd, 10536 Vista Bella Place,
29 Northwest. And I swear to tell the truth.
30
31 CHAIR NICHOLLS: Thank you, sir. Are you
32 representing yourself or a neighborhood.
33
34 MR. FLOYD: Myself.
35
36 CHAIR NICHOLLS: Let's start you with two minutes.
37
38 MR. FLOYD: Okay. Just some quick comments. I
39 concur with the last speaker, Mikaela. As we've worked
40 with her, has been wonderful in this process. Not only
41 in taking into consideration our comments, but in
42 talking with the other interested parties and being able
43 to tell you that "I did a non-starter," or, you know,
44 "Here's where you got common ground. And how can you
45 kind of get to a solution rather than, you know, coming
46 in here and screaming at each other?" So it's been a
47 great job.
48
49 In her language for what I believe was given to
50 you guys as a handout, that fugitive dust amendment,

1 very good. It incorporates, you know, who are the real
2 regulators, you know, the environmental health
3 department, the grading and drainage department here at
4 the city, and then the newly created sediment and
5 erosion control group.

6
7 So with that, I think it's very good. We'd
8 like to see one amendment -- well, maybe a couple
9 amendments. The first one is just cleanup on Item
10 Number B. It says "settlement." It should be
11 "sediment," I believe, "control plan."

12
13 And then we would like to add a few Item F, and
14 I'll read that into the record in just a second. And
15 then change the current F to G, if you guys decide to
16 pick that up. And I have copies for you, but let me
17 read it into the record first.

18
19 So for Paragraph F, would read, "For situations
20 that require grading without a building permit or
21 preliminary plat, or in advance of a preliminary permit
22 or preliminary plat, a special plan can be submitted for
23 approval. Such a plan shall meet all requirements of
24 Items A through E and must satisfy the requirements of
25 the city engineer and the environment health department.
26 The plan shall address any special requirements
27 associated with the proposed plan."

28
29 The reason for this -- the reason for this is
30 you might have situations like a park, a drainage pond
31 that would -- is it all right if I continue?

32
33 CHAIR NICHOLLS: Yes, sir. How much more time do
34 you need?

35
36 MR. FLOYD: It should be just a minute.

37
38 CHAIR NICHOLLS: Go ahead, sir.

39
40 MR. FLOYD: If you have one of those situations,
41 you know, you're not going to be asking for a grading
42 permit, you're not going to be asking for a plat,
43 potentially, on either one of those. And I think it's
44 those type of situations that kind of fall between the
45 normal regulatory cracks where you actually wind up with
46 problems. A subdivision that's not ready yet for
47 preliminary plat, somebody might bring in a stockpile
48 and they're not quite sure what the process is. And so
49 if somebody doesn't come and pop them with a fine, you
50 know, it's just kind of falls through the cracks.

1
2 I think having this language in there that
3 would allow that, those special situations, makes it's
4 very clear that you have to have a grading and drainage
5 plan, you have to have the erosion and sediment control
6 plan and you have to have your dust permit, then
7 somebody in one of those special situations realizes
8 exactly what they need to have and there's no excuse for
9 doing something other than that.

10
11 And that's it.

12
13 CHAIR NICHOLLS: Thanks, sir.

14
15 Any questions, Commissioners?

16
17 COMMISSIONER GRIEBEL: Just a basic one. Where are
18 you --

19
20 CHAIR NICHOLLS: Commissioner Griebel.

21
22 COMMISSIONER GRIEBEL: Where are you proposing that
23 this Paragraph F would fit?

24
25 MR. FLOYD: That would fit --

26
27 COMMISSIONER GRIEBEL: I'm lost here.

28
29 MR. FLOYD: -- in the -- maybe you can help me,
30 Ms. Renz-Whitmore. Is it the same handout that they
31 would have received?

32
33 MS. RENZ-WHITMORE: Commissioners, the fugitive
34 dust amendment is the final page of all sector plans
35 staff reports. So if you have in front of you Cliffs,
36 Heights Or Trails, flip all the way to the back, the
37 fugitive dust amendment is there, A through current F.
38 Mr. Floyd is proposing to replace F with new language
39 and move the current F to G. It's literally the back
40 page of all those staff reports.

41
42 Mr. Chair, did you find it? I can also put it
43 back up on the screen, if that would be helpful.

44
45 CHAIR NICHOLLS: Any other questions, comments?

46
47 COMMISSIONER GRIEBEL: I'm still not finding it,
48 but...

49
50 CHAIR NICHOLLS: The very last page on agenda Item

1 Number 7.

2
3 COMMISSIONER GONZALEZ: It's on 6, 7 and 8, the
4 last page. The last, last page.

5
6 MR. FLOYD: Got it.

7
8 CHAIR NICHOLLS: Okay.

9
10 MR. FLOYD: And one final comment, if I may. In
11 regard to Ms. Horvath's request that it was tied back to
12 building permit even for residential, and that's
13 essentially what the original language said, they see
14 that we have -- I represent a residential developer in
15 the area, is just if you make that language the same --
16 for commercial, it makes sense because you kind of do
17 all your site at one time, residential, if you have it
18 tied to building permit, you know, there's a residential
19 developer that builds the streets, grades pads, does all
20 that preliminary work, and then there's a builder that
21 comes behind them and buys lots and builds houses, on
22 there, you know, that would be kind of the third party
23 in the chain, they're the ones that actually ask for a
24 building permit from the city when they're ready to
25 build an actual house. So if you tie it to building
26 permit before that, you kind of eliminate that in
27 between developer and you would create situations where,
28 you know, this house is built and this house is built,
29 now somebody is coming in to grade this intermediate
30 lot, you know, and they're excavating 4 feet and they're
31 running, you know, huge vibratory rollers, and if you
32 think you get complaints for the blasting, wait until
33 somebody is running a huge roller between two houses,
34 you know, so that language is problematic, I guess is my
35 point.

36
37 COMMISSIONER GRIEBEL: Let me see if I've got this
38 clear. So how are you planning on delineating these two
39 things? I assume that there's a desire here to avoid
40 people grading huge swaths for a subdivision, and then
41 like the situation you're talking about, building
42 permits don't come along for years and years, but yet
43 you have a -- you're creating fugitive dust by --

44
45 MR. FLOYD: Right. I think in those situations,
46 sometimes it happens. It happened that way. Or, you
47 know, a lot of this area has an underlying rock layer,
48 and the least expensive way to deal with that is to
49 bring in extra fill so you're not digging through that
50 rock for all your utilities or you're minimizing the

1 amount you have to blast and dig through that rock. So
2 there's an advantage in that regard to bringing in a lot
3 of dirt at one time. But in some ways, that's kind of
4 falling through the cracks, because you may not be to a
5 preliminary plat level when you want to bring in the
6 dirt.

7
8 So I think adding the language we're talking
9 about here makes it very clear that if you're doing any
10 of these things, you need a grading and drainage plan,
11 you need an erosion control plan.

12
13 Which the erosion control plan through the city
14 is new. It's something that's trying to come into
15 compliance with EPA requirements. So in that language,
16 when you talk about erosion, in the past we thought of it
17 as water erosion, you know, what runs off when you get a
18 big rain. With the EPA language and the way they
19 enforce it, that also includes wind-blown erosion. So
20 if you're losing dirt from your site from any of those
21 means, you're in violation of that erosion and sediment
22 control plan. You know, and then the third thing, it
23 makes it clear to anyone doing that that they also need
24 that dust control permit from the environmental health
25 department.

26
27 So on one hand, it grants a little bit more
28 leniency as to when you can grade, but it makes it very
29 clear that you shouldn't be bringing in a stockpile of
30 dirt and leaving it unattended, you know, for two years
31 before you start issuing building permits. But you need
32 to have a real plan and implement it.

33
34 COMMISSIONER GRIEBEL: Thank you.

35
36 Any other comments or questions?

37
38 MR. FLOYD: Thank you.

39
40 CHAIR NICHOLLS: Mr. Strozier, I believe you're
41 next.

42
43 MR. STROZIER: Thank you, Mr. Chair. Commissioners
44 Jim Strozier, 302 8th Street, Northwest, 87102. And I
45 swear to tell the truth.

46
47 CHAIR NICHOLLS: Thank you, sir. Who are you
48 representing today?

49
50 MR. STROZIER: Well, I'm representing -- I'm here

1 to speak -- I signed up on multiple sheets because I
2 have some kind of overview comments. I have specific
3 comments relative to the trails, very -- and then also
4 the cliffs. And I'm representing a number of different
5 clients relative to those. So if I could have a little
6 leeway in terms of time. I'll try and make it through
7 this as quickly as possible.
8

9 And we have had meetings with Mikaela on all of
10 these issues, but I wanted to make sure that I at least
11 get them out there in the record as this proceeds up to
12 the city council process.
13

14 CHAIR NICHOLLS: Let's start you with five minutes.
15

16 MR. STROZIER: Okay. I will do my best. Thank
17 you.
18

19 First of all, as I mentioned, we met with a
20 Mikaela on a number of these issues, and I just want to
21 publicly thank her for all her work on this. She's done
22 an amazing job of trying to keep all this together. And
23 we have not -- I'll state for the record, we have not
24 made her life easy in this process, because -- and one
25 of the things, kind of as an overview comment, you know,
26 these plans were developed right -- and there wasn't a
27 lot of activity going on. And right now we're just
28 starting to see the builders, the developers, they're
29 all coming back to life and they're all looking at these
30 plans as we speak and looking at the details associated
31 with these plans. So all of a sudden we're paying very
32 close attention to window recesses and types of stucco
33 and all this stuff is now coming to the forefront that
34 maybe before nobody was really, you know, paying as
35 close attention to it.
36

37 So I would also support Mr. Floyd's comments
38 relative to the fugitive dust grading and drainage
39 issues. And I think that ought to apply to all three of
40 the plans. I think that's critical that we don't create
41 confusion in the rules and regulations, and also
42 recognize how that process works differently between
43 residential and commercial development.
44

45 And I'd also -- I'll start by talking about the
46 Trails. And as Ms. Horvath mentioned, I think the
47 Trails has done an awesome job of open space and rock
48 outcropping preservation with their open space network
49 and their trails. And I think that's a great example of
50 how that can be done very well.

1
2 All right. With regard to the trails, I'll try
3 and sort of hit the highlights of these. One is with
4 regard to the requirement for the stucco being of
5 integral color. This is one of those issues -- I'm not
6 a builder, but the customer, as they're building a
7 house, something happens, they have to patch it, they
8 have to come in and make a repair, the integral color,
9 it's almost impossible to get that to match. The
10 customers really like alternatives, whether it's
11 synthetic or a painted stucco. There's other options
12 and this making it limited only to integral color, it
13 seems too restrictive.

14
15 With regard to Woodmont, we support the
16 recommendation of staff to pursue modifying that to a
17 minor arterial. I have a number of issues related to
18 that, but I think that's been covered.

19
20 Driveway width, we also support the proposed
21 amendment that would widen that drive pad to 14 feet.
22 And that is -- I think that's critical in terms of the
23 actual operation of those driveways and people getting
24 in and out of their driveway and their garages. If you
25 create sort of a curbing on the wings and people end up
26 hitting that, they don't like it. They're customers,
27 once again. And so we definitely support that
28 modification.

29
30 With regard to the Tract 8 and Valle Vista,
31 that's a cleanup with regard to RD versus VTRD, and we
32 support the change clearing that up, because right now
33 it says one thing and the map says another, but we would
34 like to make it clear. Part of that has already been
35 platted, and we want the ability -- we would like the
36 ability to replat it. So what we would have suggested
37 is that the land development requirements do not apply
38 to the already platted and developed portion of that
39 area, but that the home, the design restrictions do
40 apply that are in the sector plan. And that's just a --
41 question?

42
43 COMMISSIONER GRIEBEL: Can I interrupt, Mr. Chair?

44
45 CHAIR NICHOLLS: Yes, please. Commissioner
46 Griebel.

47
48 COMMISSIONER GRIEBEL: If you could just refer to
49 where you're talking about as you -- because you're --
50 you're moving quickly.

1 MR. STROZIER: And I am specifically trying to move
2 quickly. And I believe, and Mikaela can help me out,
3 that is on the zoning page, which is 24 of the plan,
4 which I don't know what page that is in the staff
5 report.

6
7 COMMISSIONER GRIEBEL: I'm sorry, we're on?

8
9 MR. STROZIER: The VTRD versus RD. The design
10 standards that I'm going to be speaking to are on Pages
11 46 and 47 of the red-line version of the plan. Does
12 that help?

13
14 COMMISSIONER GRIEBEL: And I'm sorry. To cross
15 reference that to the agenda, which staff report are
16 you --

17
18 MR. STROZIER: This is the trails, and this is Item
19 Number 6.

20
21 COMMISSIONER GRIEBEL: Got it.

22
23 MR. STROZIER: So Page 24, which is Chapter 3,
24 zoning has the map that shows the area, and this is to
25 the south of Woodmont and to the west of Rainbow is the
26 area that I'm specifically speaking to. It's labeled
27 VTRD and colored beige. And the developed portion is
28 the area that you can see where the streets are shown
29 and the lots are -- and they're currently going through
30 a process to replat those lots, but it's already been
31 built, so it would be very difficult to address some of
32 the land development requirements that are in the sector
33 plan, sort of to retrofit those, so to speak. Is that
34 clear?

35
36 COMMISSIONER GRIEBEL: Thank you.

37
38 MR. STROZIER: Okay. With regard to the general
39 standards related to garages, and I'm just going to try
40 and hit the highlights on this, there's I think in
41 general a concern that on the limitations of garage
42 types and making sure that we account for narrower lots
43 for townhouses, and this is on Page 46, where these
44 regulations are pertaining in terms of residential
45 garages, and that the lot width generally allow for the
46 different types, more flexibility in terms of the garage
47 types based on lot widths, and getting down to, for
48 instance, in small Roman Numeral V, allowing that on
49 lots as narrow as 58 feet instead of 70 feet. There are
50 a number of provisions in these standards that address

1 the character of that front facade and the attempt to
2 make it non-garage dominated.

3
4 The other issue, and this is at the top of Page
5 47, individual garage bay shall be no greater than
6 12 feet wide. I think this is one where it actually
7 creates -- maybe the unintended consequence is more of a
8 garage-dominated facade. And a typical two-car garage
9 bay is 16 feet wide. And so if you can only do 12, you
10 would end up -- in order to do a two-car garage, you'd
11 end up with 24 feet of garage bay. So this, I think, is
12 something that better reflects how they built the
13 garages.

14
15 And -- let's see, make sure I got that point.
16 Okay. I believe that that is good. At least I think
17 I've addressed those.

18
19 Now I would like to move on to the Volcano
20 Cliffs. And the Pulte group, and this is -- the Pulte
21 group is in the process of developing Montecito West in
22 this area. And we had an excellent meeting with Mikaela
23 to review a number of these points. But one of them is
24 that -- and this is unique to this project, is that they
25 are actually going through the private commons
26 development regulations. And you don't see that very
27 often. It kind of was I think originally intended for
28 little infill projects down in the valley, but the
29 requirement is that you have to provide 30 percent open
30 space that is visually accessible.

31
32 And so one of the things -- so that's a great
33 idea, right? This sounds wonderful. But in doing that,
34 you end up with smaller lots that now, you know, no good
35 deed shall go unpunished, right? So by doing the
36 private commons, they've then sort of boxed themselves
37 into some issues related to the smaller lots. And one
38 of the key things is on the building height and
39 second-story limitation, and I do not know where this
40 occurs within this -- this is a new -- this is really a
41 new issue. But we would like some flexibility on this.
42 And the portion that restricts the second story to
43 50 percent of the building footprint. And for a large
44 lot, where you have -- where you can -- you know, you
45 have a lot of flexibility on how big your first floor
46 is, that makes sense. But since we are doing the
47 private commons, we're restricting the lot size, it
48 becomes problematic, and we would like the ability to go
49 up to 75 percent on that second story.
50

1 And in talking to Mikaela, one of the -- the
2 rationale behind that limitation from the Volcano Cliffs
3 plan was view preservation. Well, if we're already
4 doing the private commons and we've got a site plan that
5 has 30 percent open space, we're providing view
6 corridors and view opportunities in a much bigger way
7 that would have been accomplished with large lots with
8 this same limit, with this existing limitation.

9
10 So we think it should only be applicable to
11 those --

12
13 CHAIR NICHOLLS: How much time do you need, sir?

14
15 MR. STROZIER: Probably two more minutes.

16
17 CHAIR NICHOLLS: Go ahead.

18
19 MR. STROZIER: So that's the rationale there, that
20 we're only asking -- we think this is appropriate for
21 projects that utilize the private commons development.
22 Hopefully we'll see more. We think that ought to be an
23 incentive.

24
25 The other thing is that they're designing a
26 product -- this is where I talked about getting into the
27 weeds -- that has an interior courtyard that's accessed
28 off the front. And it creates a private space for the
29 resident, but is not done as a typical front porch. But
30 we feel strongly that this actually is -- encourages
31 more use. These things are very popular, these interior
32 courtyards. You have an entry into that courtyard
33 that's visible from the street, and it gets used a lot,
34 and it actually provides a lot of activity, as opposed
35 to a porch that may or may not get used. The porch,
36 aesthetically, it's a different model, but it does
37 provide something different. So we would like the
38 flexibility to not -- I think the current rules are two
39 out of every three lots have to have a front porch, and
40 we would like to eliminate that provision.

41
42 And maybe we could work with staff as this goes
43 up to come up with some design parameters as to how that
44 would function. But we think that some flexibility
45 there would be -- would actually help to provide that
46 intent of activating the front and that outdoor space in
47 the street -- the street realm, if you will, but doing
48 it differently. I know I have a front porch on my
49 house. We have a nice porch swing, but we never sit out
50 there.

1
2 So just real quickly make sure that I've
3 addressed -- oh, the other thing is more of a
4 construction issue with regard to the recessed windows.
5 And that is just a change from 2 and a half inches
6 minimum recess to two inches. I don't think anybody
7 could see it, but the way that they build them, it's
8 much easier to construct a 2-inch recess. And these
9 plans, they're actually designing the primary windows
10 that they're trying to accentuate with a 2 to 2 and a
11 half foot recess. So they're okay with the idea of the
12 recess. It's just from a building standpoint, it's
13 easier to construct.
14

15 And I think that hits the highlights, and we
16 will certainly follow up in writing with all of this.
17 And I apologize for bringing all this at the last
18 moment. I apologize mainly to Mikaela for all the
19 meetings we've had and promises that I haven't kept in
20 terms of getting her all this in a timely manner.
21

22 CHAIRMAN NICHOLLS: Commissioners, any questions?
23

24 MR. STROZIER: Thank you.
25

26 CHAIR NICHOLLS: Thank you.
27

28 Who's next?
29

30 MS. CARRUTHERS: James Hoffman, followed by John
31 Ransom, and then John Edward.
32

33 CHAIR NICHOLLS: Good morning, sir. If you'd state
34 your name and address for the record, please.
35

36 MR. HOFFMAN: James Hoffman, 4606 Firewheel Drive,
37 in Garland, Texas.
38

39 (Witness sworn.)
40

41 CHAIR NICHOLLS: Are you representing yourself?
42

43 MR. HOFFMAN: I'm representing my family's limited
44 partnership that owns property in the Volcano Heights
45 area.
46

47 CHAIR NICHOLLS: So you're just speaking as a
48 property owner?
49

50 MR. HOFFMAN: Yes.

1
2 CHAIR NICHOLLS: Let's start you with two minutes,
3 sir.
4

5 MR. HOFFMAN: Okay. So we support the plan, you
6 know, the zoning, the vision. We would really like to
7 see the plan achieve that vision, but we continue to
8 have the same concerns that we expressed in
9 December 2012 regarding regional infrastructure.
10 Primarily, we're referring to Paseo del Norte and Unser
11 Boulevard, the associated back (inaudible) utility
12 infrastructure along those facilities and possibly the
13 transit road -- the transit lanes which are dedicated
14 would be regional in nature also.
15

16 The lack of infrastructure is going to inhibit
17 development. You're not going to attract quality
18 businesses. During December 2012, Gateway Planning, who
19 is the city's consultant, made a presentation. They
20 showed a couple of example sites from the Dallas-Fort
21 Worth area. Those sites had planned -- one of them --
22 their sector plan was approved in December 2012. Today
23 there's a -- eight cranes on that site building, and
24 they're anchored by a State Farm Regional Center. Just
25 last week another one here, Legacy Town Center, the
26 other example, announced that FedEx is moving their
27 regional offices. These are jobs that Albuquerque could
28 have, but we're just not competitive in any way. And
29 one of the reasons is regional infrastructure.
30

31 Now, Unser and Paseo, again, they're regional
32 highways, they've been on the books for decades, they'll
33 be there with or without a sector plan. And part of the
34 reason for the lack of infrastructure is due to some
35 external factors. We're all aware of the difficulties
36 with the escarpment crossings. Now, those are due to
37 just the city not prioritizing this area.
38

39 I'd like to point out that the West Side
40 Strategic Plan on Page 57 identifies the Paradise
41 community, which is part of Volcano Heights is
42 located --
43

44 CHAIR NICHOLLS: How much longer do you need, sir?
45

46 MR. HOFFMAN: A couple more minutes.
47

48 CHAIR NICHOLLS: (Inaudible).
49

50 MR. HOFFMAN: (Inaudible). Thank you.

1 You know, it states that there are several
2 significant regional transportation impacts that need to
3 be resolved to accommodate future growth. And Policy
4 3.9 also states that north/south roads should be
5 extended and widened to the Paradise community as soon
6 as the Paseo del Norte alignment issue has been
7 resolved. Well, Paseo del Norte was in 2007, and right
8 now we have a temporary road that's going to have to be
9 ripped out, is Unser, in the Volcano Heights area.

10
11 They also talk about infrastructure and phasing
12 of development. They talk about vacant land already
13 served by infrastructure first, then followed by area
14 adjacent to the proposed facilities. That is the
15 Paradise community where Volcano Heights is. Page 158
16 in the sector plan -- or in the strategic plan has a
17 phasing prioritization plan. It shows the Paradise
18 community for the 1995 to 2015, we're at the tail end of
19 that, is priority Number 1. Whereas other areas to the
20 west, Ventana Ranch, Volcano Cliffs, are Priority 2 or
21 Priority 3 for the county.

22
23 Clearly those developments have leapfrogged,
24 and that's why I disagree with staff's comment on my
25 statement saying that we should refer maybe in the
26 existing conditions that leapfrog development is what
27 has occurred and that this is somewhat of an infill
28 site. I mean, let's call it what it is, it's true. In
29 fact, that definition of leapfrog comes from the West
30 Side Strategic Plan. So we have -- you know, I could go
31 on. I know I'm limited to time. Probably have another
32 ten minutes I could talk. I'll defer any comments on
33 the A, B streets for Mikaela's discussion.

34
35 And thank you for your time. If you have any
36 questions on any of my other comments in the plan?

37
38 CHAIR NICHOLLS: I was going to say, I think most
39 of what you're talking about is actually covered in your
40 submittal; is that correct?

41
42 MR. HOFFMAN: Yes. Well, all right. There's a lot
43 of detail behind it, a lot of history, intersections.
44 If I could make one quick comment. You've heard a lot
45 about bike lanes, intersections. You know, the
46 cross-sections of Unser would show a slip lane. It's,
47 you know, kind of unique. How those intersection, how
48 they access the cars and bikes, you know, that needs to
49 be discussed. But every time I've tried to bring it up
50 within the sector plan or by other means through

1 Councillor Lewis, I've always been told that that's out
2 of scope. So I share those concerns with Councillor
3 Gonzalez. You know, I think that's why it needs to be a
4 regional, city-sponsored infrastructure. Thank you.
5
6 CHAIR NICHOLLS: Thank you, sir.
7
8 Any questions, Commissioners?
9
10 Okay. Let's call the next speaker, please.
11
12 MS. CARRUTHERS: John Ransom, followed by John
13 Edward.
14
15 CHAIR NICHOLLS: Good morning, sir.
16
17 MR. RANSOM: Good morning.
18
19 CHAIR NICHOLLS: If you'd state your name and
20 address for the record, please.
21
22 MR. RANSOM: John Ransom, 2424 Louisiana Boulevard.
23
24 (Witness sworn.)
25
26 CHAIR NICHOLLS: Thank you. And are you
27 representing yourself or a neighborhood organization?
28
29 MR. RANSOM: I'm representing myself as a landowner
30 in Volcano Heights Sector Plan.
31
32 CHAIR NICHOLLS: Then let's start you with two
33 minutes.
34
35 MR. RANSOM: Thank you, sir. I want to speak
36 specifically to the road network, the regional highways,
37 Paseo del Norte and Unser. We heard earlier from the
38 west side coalition that we need more retail. We've
39 heard from Ms. Renz-Whitmore earlier about 80 percent of
40 our jobs are actually on the east side of the river.
41 We've actually had Commissioner Gonzalez make his point
42 that our community needs to stop accepting that we just
43 live on the west side and commute over our limited
44 bridges to shop and to work. I know I paraphrased.
45
46 What our community really needs is a plan for
47 funding and the completion of Paseo del Norte and the
48 Unser regional highways. In December of '12, EPC
49 actually changed previous language that basically said
50 the landowner is responsibility for the construction and

1 the expense of building out these regional highways.
2 LUPZ and city counsel unanimously confirmed their new
3 language that the city should provide -- prioritize and
4 secure funding to help with the construction of Paseo
5 del Norte and Unser. I'm telling you that is not
6 happening.
7

8 Landowners, prospective regional and national
9 retailers and future employers have met with the city
10 and city planners, and the city's position and response
11 to us is that you, meaning the user and employer, pay
12 for the construction of these regional highways. So
13 these potential users leave and they go develop
14 elsewhere. That is not what I would say trying to work
15 out a plan for the funding and planning of completing
16 these roads.
17

18 So I ask that you reaffirm and emphasize the
19 need for the city to prioritize and secure funding for
20 the construction of these regional highways. Thank you.
21

22 CHAIR NICHOLLS: Commissioners, any questions?
23

24 MR. RANSOM: Thank you.
25

26 CHAIR NICHOLLS: Thanks.
27

28 The next speaker? Is this the last one?
29

30 MS. CARRUTHERS: This is our last one. John
31 Edward.
32

33 CHAIR NICHOLLS: Good morning, sir.
34

35 MR. EDWARD: Hello, Councillors. How are you
36 today?
37

38 CHAIRMAN NICHOLLS: If you'd state your name and
39 address for the record.
40

41 MR. EDWARD: My name is John Edward. And I -- do
42 you want a P.O. Box or address.
43

44 CHAIR NICHOLLS: Whichever you're --
45

46 MR. EDWARD: P.O. Box 26506 Albuquerque, New
47 Mexico, 87125.
48

49 (Witness sworn.)
50

1 CHAIR NICHOLLS: And are you representing yourself
2 or a neighborhood organization?

3
4 MR. EDWARD: My family is a landowner within a
5 partnership within the Volcano Heights Sector
6 Development Plan.

7
8 CHAIR NICHOLLS: Let's start you with two minutes,
9 then.

10
11 MR. EDWARD: I'd like to start off with the idea of
12 fugitive dust, and I think the real concern we have is
13 the city for future fugitive dust is the current
14 statistic that 13,000 people have left our region. And
15 if we don't get economically minded, the fugitive dust
16 will be coming from abandon properties.

17
18 And when we think about economic development
19 and we think about land development, we need to think
20 about things that are economically viable, economically
21 realistic to support the current residents in the homes
22 that they live in, whether they be new homes or current
23 homes.

24
25 And when you look at the draft recommendations
26 and changes in here, that has to be principal in your
27 mind. Because a community is a living organism, which
28 if it is not growing, it is dying. And you can go to
29 Vaughn, you can go to Sumner, you can go to any small
30 towns around and their real estate values are worth
31 nothing and they don't have nurses or doctors to help
32 serve them. That's an extreme example compared to a
33 large city like ours. But that is the reality.

34
35 We have become -- lost our critical mass. I'm
36 an insurance broker. Not a single representative I
37 engage with is from the city or the State of New Mexico.
38 They outsource. We have become an outsourced community.
39 We need critical mass. That comes in the form of
40 regional infrastructure. And you didn't depend on 200
41 acres -- a landowner like myself and my mother, who is
42 83, and her IRA, to fund the regional infrastructure for
43 an area that serves 50 square miles. That does not
44 happen.

45
46 As it relates to the programs relating to the
47 recommended changes, I won't get into the specifics
48 other than to say are they practical, are they
49 realistic, are they achievable? And what do we need to
50 do to make sure that they are. The idea of somebody

1 living 5 miles away worrying about blasting, I can
2 appreciate that concern, but the real concern is, I need
3 to have proof. I can't take hearsay to make a policy
4 decision today without proof.

5
6 I think that the decisions dealing with the
7 soil and erosion and the blasting, my concern is that as
8 a landowner, that if a neighboring property owner is
9 restricted from doing some sort of preliminary site work
10 before my building has already gone in, then I fear for
11 the development of my project because somebody wasn't
12 able to be proactive in the development of their sites.

13
14 CHAIR NICHOLLS: How much more time do you need,
15 sir?

16
17 MR. EDWARD: I just need a couple more minutes.

18
19 One of the requests I'd make, and if you can
20 just advise me on the policy, when a neighborhood
21 association comes to speak, should there be something
22 relative to the number of members of an association that
23 support that position? And is there actually any
24 validity to the claims? Because I've been coming here a
25 long time. The woman is very nice. She claims to
26 represent a neighborhood association, but I don't see
27 any sort of a petition, I don't see any documentation
28 that this is a directive, other than an individual
29 affecting the economic future of our community. I
30 believe in quality of life. That is critical. People
31 confuse where they want to live these days. Because of
32 this little laptop, my computer here, you can live
33 anywhere in the world. And we need to think about that
34 when we think about our jobs in development.

35
36 So I'd like to know, what is that position? Is
37 this a forum for me to ask that question?

38
39 CHAIR NICHOLLS: Let me see if I can just clarify
40 what it is you're asking, and correct me if I'm wrong.

41
42 MR. EDWARD: Right.

43
44 CHAIR NICHOLLS: When somebody represents a
45 neighborhood organization, that should imply that that
46 organization has done two things. One, that they have
47 discussed the issue at heart; and secondly, taken a
48 position. And when they've taken a position, they
49 should do one more thing, and that is elect a
50 spokesperson for that organization.

1 If you're representing 1500 homes, as I think
2 was mentioned at some point today, that's awful hard to
3 get a consensus out of 1500 homeowners. And usually
4 there's a board of directors, and that board of
5 directors in general represents those homeowners,
6 usually because they're scattered throughout a
7 neighborhood, as in my case up in the Northeast Heights.
8

9 But there are times when the commission can ask
10 how a decision was reached from a particular member of
11 the public who's speaking on behalf of the organization.
12 That is done in some cases, particularly, say, with the
13 zoning hearing examiner. They will often ask and have
14 asked; I know because I've been before them, "So you say
15 you're representing your organization or your board of
16 directors. Was there a vote? What was it? Is there a
17 set of minutes that support that?" And, in fact, the
18 board of appeals, the same thing happens.
19

20 In general, we do tend to see from certain
21 areas of town, should we say, the same person on a
22 regular basis. And by and large, I think we're fairly
23 comfortable with that person speaking for the
24 organization because they do it on an almost monthly
25 basis. But it is not unreasonable to ask that question.
26 Is that the root of what --
27

28 MR. EDWARD: Yes. Because people can come in and
29 say that they represent a certain organization, but what
30 sort of documentation do they have to say that that
31 really is the position of the organization, and with
32 even any realm of reality that it represents a large
33 number or even a majority of those people?
34

35 Because at some point it takes on an economic
36 challenge. I'll give you a case in point. My family
37 owned the property at Academy and Wyoming. Neighborhood
38 people came out claiming -- to make certain claims. The
39 city made demands on us to pay for regional
40 infrastructure that was three miles away. And in the
41 process of doing so damn near bankrupted my family.
42 It's not economically viable for an organization to make
43 claims on people that are unrealistic and
44 unsubstantiated. And this community is not going to
45 grow and it's going to go in the toilet, and it is from
46 a growth perspective -- you take at any of the regional
47 cities around us, they have developed to a point that we
48 are an after thought. Economically, an after thought.
49 And when Intel begins to phase down and you lose 5,000
50 jobs out there that pay four times the per capita

1 income, we don't have a plan -- or we have a (inaudible)
2 going in place right now to build regional
3 infrastructure to replace those jobs and get out ahead
4 of that.

5
6 And when you have a person come in here and
7 make unsubstantiated claims, there's no technical
8 geological statements, there's no measurements, nothing,
9 that has serious consequences on other people's lives.
10 And if people are going to make these claims and they
11 want to make changes to the draft, then you guys need to
12 make sure that there is substantiated claims.

13
14 I'll give you a great example. They were
15 trenching up Lead and Coal, old neighborhood, one of the
16 oldest neighborhoods in the City of Albuquerque. They
17 hit a waterline. It created water hammer inside my
18 father's office building. Water hammer is the
19 compression of air and water coming together and it
20 causes an earthquake effect. We went in and we put,
21 wherever there was a little crack, monitoring devices to
22 measure over a reasonable period of time the change in
23 those cracks. We did what was necessary so that we
24 could actually substantiate our claims. And people
25 should have to be able to do the same thing here.
26 Because at the end of the day, the policies they're
27 asking for, you're going to build a five-story building
28 within the height limitations of this property, you're
29 going to have to put in regional infrastructure, you're
30 going to have to put in other types of infrastructure,
31 but you're really not allowed to do it economically in
32 any degree of viable means because it's claiming to
33 effect somebody five miles away.

34
35 What about the guy who owns the property right
36 next door who wants to put in his infrastructure and
37 it's too late. There's enough buildings built close
38 enough nearby within feet that nobody's willing to take
39 that legal liability of risk that you screw that up,
40 I've got a \$25 million property right here and if you
41 jack it up because we relied on the unsubstantiated
42 claims of other people five miles away, you're not going
43 to have economic development. You won't have a
44 development that will build out.

45
46 CHAIR NICHOLLS: Okay. I'm going to have to stop
47 you right there.

48
49 Are there any questions? Commissioner Griebel.
50

1 COMMISSIONER GRIEBEL: So specifically what are we
2 talking about here? Is there a dispute as to particular
3 language that was brought up?
4

5 MR. EDWARD: Well, I think that Mr. Floyd made some
6 nice commentaries and some modifications to it, but I
7 think it needs to be more broadminded. I think that as
8 a community, we need to be visionary people. I'm
9 thinking visionary terms but in practical terms.
10

11 If somebody has got the capital, they've got
12 the funding behind them, they've got the wherewithal to
13 go out and do things and get out in front of this
14 cart -- you take the FedEx facility that went into
15 Texas, it's going to be about a \$3 billion deal. New
16 Mexico hasn't seen a \$3 billion deal in a long time.
17 They have that because they had that forward thinking.
18 And what some of these plans say was, you know, can you
19 do this, can you not do that, how do you go about doing
20 it, it gets in the way of that. Well, if you do it at
21 too late, people don't have patient money to wait more
22 than six months, nine months, three months. And so to
23 tell people that they're going to have to wait till the
24 last minute to do something, that means that to get it
25 through city processes, you might have to wait three or
26 four years. There's not a publicly traded company out
27 there that's going to wait one year.
28

29 COMMISSIONER GRIEBEL: So let me come back to the
30 question. So if the redline is approved as proposed,
31 which way does that cut, in your view? Is it a good
32 thing or a bad thing?
33

34 MR. EDWARD: Well, if you will take the
35 recommendations of this gentleman here, I think it's
36 better. But I think it's -- in talking to people who
37 are looking at trying to develop and interested in this
38 area, the challenges that they face are how slow things
39 can move, and it's all kind of intertwined.
40

41 So you need regional infrastructure. You need
42 plans for that. You need drawings for that. You need
43 engineering for that. Then you need to put the stuff
44 in. You need to get the funding for it. You can't get
45 the funding till you get all this stuff done. And
46 everybody is moving at a snail's pace. But then you get
47 into the fugitive dust control aspects, how far out in
48 advance can you actually do any sort of earth work
49 before you have a building permit. Those don't come to
50 economic realities.

1
2 You can't say to somebody, "You can't disturb
3 the soil unless you have a building permit over here."
4 Well, it's not always going to work that way.
5 Especially when you got in some places out there, you
6 know, 15 feet thick of the rock that is as hard as
7 Granite. There needs to be a practical economic-minded
8 reality to some of these provisions.
9

10 Now, if you said to me, "We're going to
11 continue to want to modify this document as we move
12 forward and take into those considerations," then I'm
13 going to feel good about it. And if these guys will
14 invite that sort of discussion. And I think they've
15 been very good at what they're doing. They're under a
16 lot of pressure to meet a lot of different masters in
17 this regard.
18

19 But what we need is -- if I could make any
20 recommendation, is whenever you look at a modification
21 of that plan, you need to ask yourself, could a banker,
22 could a business owner, can an individual, can an
23 83-year-old woman with an IRA money invested in this,
24 can they economically see that this is even possible
25 based upon the way that things are drawn up, based upon
26 the recommendations and requests of people that are five
27 miles away that have nothing to substantiate? And
28 that's important. That's really important.
29

30 Sorry to get so fired up, but I let myself do
31 that.
32

33 CHAIR NICHOLLS: All right. Thank you for coming
34 in.
35

36 MR. EDWARD: Thank you very much.
37

38 CHAIR NICHOLLS: So where do we stand now? What do
39 we need to do next? I'm looking for your guidance here.
40

41 MR. BRITO: Mr. Chair, we're at a junction here
42 where, you know, you can continue to ask questions of
43 speakers, of staff. You can close the floor and have a
44 discussion amongst the commission, or you can break for
45 lunch, because it is the noon hour and, you know, here's
46 another pun, you could digest what you've heard.
47

48 CHAIR NICHOLLS: Digest lunch, is that what you're
49 saying?
50

1 MR. BRITO: And come back and have your discussion
2 at that point. It's up to you how you want to proceed.
3 But this is a good junction to consider what you want to
4 do next.

5
6 CHAIR NICHOLLS: I concur with that. Let me ask my
7 fellow commissioners what they would feel on this. Do
8 we need to take a break?

9
10 UNIDENTIFIED MALE: I move for digestion.

11
12 CHAIR NICHOLLS: Of lunch?

13
14 UNIDENTIFIED MALE: Both, lunch and the proposals.

15
16 CHAIR NICHOLLS: But of course during that lunch we
17 are not able to discuss any of this.

18
19 UNIDENTIFIED MALE: Correct.

20
21 CHAIR NICHOLLS: Clearly. So with that in mind, is
22 lunch here? It is. Okay. We'll recess now. And I
23 believe let's call back to order at 1:30. So we'll take
24 an hour.

25
26 MS. CARRUTHERS: (Inaudible).

27
28 CHAIR NICHOLLS: Okay. Thank you.

29
30 (Proceedings recessed.)

31
32 CHAIR NICHOLLS: We're recording?

33
34 MS. CARRUTHERS: Yes.

35
36 CHAIR NICHOLLS: Thank you. Let's call the meeting
37 back to order. We are back from recess. And
38 Ms. Renz-Whitmore, would you like to guide us to where
39 you want to go next with this.

40
41 MS. RENZ-WHITMORE: Thank you, Mr. Chair,
42 Commissioners. I believe we have a few items to talk
43 through in terms of additional conditions. And if it's
44 your pleasure to talk through them before we take these
45 item by item for your final action, that would be
46 helpful.

47
48 And discuss those and then close the floor,
49 have questions, discussion, and then move on each agenda
50 item separately.

1 CHAIR NICHOLLS: These items that I'm seeing on the
2 screen tonight, do all of these or selectively?

3
4 MS. RENZ-WHITMORE: Mr. Chair, some of them will be
5 for all, they'll be applicable to all, and several of
6 them will be targeted, at your discretion.

7
8 CHAIR NICHOLLS: From my perspective, I would
9 rather go step by step, so that we keep everything
10 clear, because what I don't want to do is say one that
11 is particular to, let's say, Agenda Number 8, now we're
12 assuming or thinking that it might apply to all when it
13 actually doesn't. And so I'd rather keep everything
14 clean, if we can.

15
16 MS. RENZ-WHITMORE: Absolutely. The only
17 consideration is if we've acted on it for subsequent
18 plans and then change the language at the very end for a
19 particular reason, we might have to go backwards. But I
20 think we can handle that.

21
22 CHAIR NICHOLLS: You're not making this easy on us.

23
24 MS. RENZ-WHITMORE: It's not easy. It's a tangle.
25 It's a spaghetti pile.

26
27 CHAIR NICHOLLS: It is. And that's what I was
28 afraid of when I saw this coming up.

29
30 MS. RENZ-WHITMORE: Can I walk you through what's
31 here and then we'll make a decision?

32
33 CHAIR NICHOLLS: Do that, yes, please. Thank you.

34
35 MS. RENZ-WHITMORE: Absolutely. So the first thing
36 is there's a finding that is erroneous that we just need
37 to strike. It came from an old (inaudible)
38 unfortunately. My mistake.

39
40 And then we have a proposal for an additional
41 condition to the Rank 2 West Side Strategic Plan in
42 response to Commissioner Gonzalez's question about
43 bicycle safety and street design. And then we have
44 several proposed conditions for the sector development
45 plans specifically. The first two bullet points that
46 that you see on the screen would pertain to the fugitive
47 dust amendment. One was a staff request from
48 environmental health, that's Bullet Point 1 in the
49 proposed fugitive dust amendment, edit Item A to read
50 three-quarters of an acre or over.

1 The second bullet point would be the request
2 from Mr. Floyd, a little bit of us massaging that
3 language, but substantively, exactly the same as you
4 heard during testimony. And then a somewhat blanket
5 condition in the sector development plans directing
6 staff to address the concerns and issues raised by
7 stakeholder who spoke here today. And we would ask for
8 you to direct us on which priority items to focus on
9 between now and the land use planning and zoning
10 committee meeting.

11
12 That's it.

13
14 CHAIR NICHOLLS: Okay. Then why don't we just
15 start -- do you have anything else, Mr. Brito?

16
17 Okay. Start with Agenda Item Number 5. Let's
18 go through that, clean up what we need to in that, and
19 let's take the vote on that. And remember, though, that
20 this is the overarching document.

21
22 MS. RENZ-WHITMORE: Correct.

23
24 CHAIR NICHOLLS: You know, I want to be -- make
25 sure we're very careful the way we do this.

26
27 So let's start with Agenda Item Number 5, and
28 let's go back -- let me just think here. Do you want to
29 present specifics to -- all right.

30
31 MS. RENZ-WHITMORE: Mr. Chair, I believe if we
32 could focus on the conditions of approval in the staff
33 report and at least make sure that those meet your
34 approval to include --

35
36 CHAIR NICHOLLS: Okay.

37
38 MS. RENZ-WHITMORE: -- and then we will add the
39 others that are proposed from today.

40
41 CHAIRMAN NICHOLLS: Then let's do that for each of
42 them. Let's get the language first, and then what I'd
43 like to the is open that up for discussion amongst the
44 commissioners. Then propose a motion and deal with that
45 one. Is that acceptable?

46
47 MS. RENZ-WHITMORE: Sounds wonderful.

48
49 CHAIR NICHOLLS: All right. Let's do that for each
50 of these cases, if we may. So this is for Case

1 Number 5. How do you want to go through that for the
2 language for conditions?
3

4 MS. RENZ-WHITMORE: Mr. Chair, I would entertain
5 you all entertaining a motion to pass the conditions as
6 written, or if there's any that I can answer questions
7 about, I'd be happy to do that. But the conditions as
8 written in the staff report will stand until -- oh,
9 you're talking about the new ones?

10
11 CHAIR NICHOLLS: Yes, please.
12

13 MS. RENZ-WHITMORE: Oh, I'm sorry. In that case, I
14 would propose adding a Condition Number 8 for the Rank 2
15 West Side Strategic Plan Volcano Mesa amendments with
16 the following language. This is Number 8, a new
17 Condition Number 8.
18

19 The following policies shall be added to the
20 Volcano Mesa amendment in the most appropriate location.
21 Bicycle facilities, including on-street bicycle lanes
22 and multi-use trails should be designed and developed to
23 meet the safety considerations as provided in the
24 Institute for Transportation Engineers, that's ITE, or
25 American Association of State Highway Transportation
26 Officials, ASHTO, standards.
27

28 CHAIR NICHOLLS: That's the only change for this
29 one?
30

31 MS. RENZ-WHITMORE: That is the only change for
32 this one.
33

34 CHAIR NICHOLLS: Okay. Then let me close the floor
35 and ask the staff -- excuse me -- ask commissioners for
36 their comments.
37

38 COMMISSIONER GONZALEZ: I think that's a great
39 idea. Seriously, I think this is the -- it is at this
40 level that we have to start making those changes. It's
41 only sensible. Either you have bicycle facilities or
42 you don't, but if you're going to have them, don't make
43 them inadequate. Make them adequate. If you're going
44 to say this road can in no way have a bicycle, like an
45 interstate or something like that, then you just don't
46 have bicycles there. But if you're going to put a
47 facility, make sure it's right. I think that makes
48 sense.
49

50 CHAIR NICHOLLS: Commissioners, any other comments?

1 Then is someone prepared to make a motion on
2 this?

3
4 Commission Peck.

5
6 COMMISSIONER PECK: Thank you, Mr. Chairman.
7 Regarding Agenda Item Number 5, Project 1008444
8 13EPC-40159, I make a motion of approval subject to
9 Findings 1 through 10, and Conditions of Approval 1
10 through 7 and new Condition Number 8 as read into the
11 record by Ms. Renz-Whitmore.

12
13 CHAIR NICHOLLS: Is there a second to that?

14
15 COMMISSIONER MCCOY: I second that.

16
17 CHAIR NICHOLLS: Thank you, Commissioner McCoy. I
18 would just like to make one slight modification to the
19 motion, and that is approval to be sent to the city
20 council.

21
22 COMMISSIONER PECK: Correct.

23
24 CHAIR NICHOLLS: Ms. Renz-Whitmore.

25
26 MS. RENZ-WHITMORE: May I also request that we
27 strike Finding 8, please.

28
29 CHAIR NICHOLLS: Finding 8. Does the maker of the
30 motion agree with that?

31
32 COMMISSIONER PECK: I agree.

33
34 CHAIR NICHOLLS: And the second?

35
36 COMMISSIONER MCCOY: Yes.

37
38 CHAIR NICHOLLS: Okay. So the motion is to approve
39 this to council, striking Finding Number 8, and adding a
40 new condition, also Number 8.

41
42 Any further discussion? Hearing none, those in
43 favor say aye.

44
45 ALL MEMBERS: Aye.

46
47 CHAIR NICHOLLS: Those against, say no.

48
49 Motion carries unanimously.
50

1 (7-0 vote. Agenda Item 5 approved.)
2
3 CHAIR NICHOLLS: (Inaudible) right along, if we
4 may, to Agenda Item Number 6.
5
6 MS. RENZ-WHITMORE: Thank you, Chair,
7 Commissioners. For agenda Item Number 6, Volcano
8 Heights Sector Development Plan amendments, I would like
9 to discuss adding a Condition Number 14, which would
10 read: In the proposed fugitive dust amendments, edit
11 Item A to read, in quotes, three-quarters of an acre or
12 over, end quote.
13
14 UNIDENTIFIED MALE: We only have five conditions.
15
16 CHAIR NICHOLLS: Yes, I was going to say, we only
17 have five.
18
19 MS. RENZ-WHITMORE: Oh, I'm looking at findings,
20 probably. I'm on the wrong case. Excuse me. Let me
21 fix this.
22
23 So this is Agenda Number 6 for the Volcano
24 Trails Sector Development Plan, proposing to add a
25 Condition Number 6 which would read as I read into the
26 record for the fugitive dust amendments.
27
28 CHAIR NICHOLLS: As read in on Case Number 5?
29
30 MS. RENZ-WHITMORE: Correct.
31
32 CHAIR NICHOLLS: Okay.
33
34 MS. RENZ-WHITMORE: No. As just read into the case
35 just now when I thought it was Volcano Cliffs.
36
37 CHAIR NICHOLLS: Oh, okay. Yeah. Sorry.
38
39 MS. RENZ-WHITMORE: Excuse me.
40
41 CHAIR NICHOLLS: My bad.
42
43 Commissioners, discussion?
44
45 Commission Peck, are you willing to --
46
47 COMMISSIONER PECK: No. I just wanted to comment.
48 I think the plan is nice, it's workable. I'm pleased to
49 see some moving forward on the west side with some new
50 projects. And I guess my only concern that I heard from

1 one speaker was the city wanting the developers to kind
2 of front some of the money for Paseo and for Unser, and
3 I'd like to see the city step in and try and help that
4 out. Because I don't think the developers should be
5 carrying that. They're carrying an awful lot of burden
6 just doing the development itself, so...

7
8 MS. RENZ-WHITMORE: Thank you, Mr. Chairman,
9 Commission Peck. I believe those comments came in
10 response for Volcano Heights, which is a separate agenda
11 item. Here we're focused on Volcano Trails, and I
12 neglected to read the second bullet point about the
13 fugitive dust. May I do so now?

14
15 CHAIR NICHOLLS: Yes, please.

16
17 MS. RENZ-WHITMORE: So proposing an additional
18 condition Number 7 to read as follows: In the proposed
19 fugitive dust amendment, add the following language in
20 the new Item F in all three -- new Item F, and renumber
21 subsequent items accordingly. Quote, in situations that
22 require grading without a building permit or a
23 preliminary plat or in advance of a building permit or a
24 preliminary plat, the city engineer may grant a grading
25 permit if an applicant makes a special request, provided
26 that the requirements in Items A through C above are
27 met, as well as other requirements from both the city
28 engineer and the city environmental health departments.

29
30 CHAIR NICHOLLS: Okay. Any other comments or
31 discussion?

32
33 COMMISSIONER GONZALEZ: I'm just wondering, is
34 there a reason not to put that same condition in the
35 sector development plan, or do you feel it's adequate to
36 just have it in the...

37
38 MS. RENZ-WHITMORE: This same language would be
39 proposed in the next agenda items for Volcano Cliffs and
40 Heights. So right now we're looking just as Trails.
41 This language would go into Trails and then we'll --

42
43 COMMISSIONER GONZALEZ: I meant this language about
44 the bicycles. Is that -- is there a reason that that
45 shouldn't go into the sector development plan as well?

46
47 MS. RENZ-WHITMORE: Thank you for that
48 clarification. The West Side Strategic Plan, because
49 the Rank 2 plan covers -- it's a policy umbrella for all
50 three of the sector development plans. If you'd like to

1 see the same language in all three plans, that's
2 absolutely fine. But as the umbrella policy document,
3 we believe it will pertain to all three sector
4 development plans.

5
6 COMMISSIONER GONZALEZ: The wheels slowly turning
7 through the turkey sandwich.

8
9 Yeah, I guess I'd like to plaster it everywhere
10 myself. So I guess I would like to ask that we do that
11 with each of the sector development plans as well.

12
13 CHAIR NICHOLLS: Any other comments, Commissioners?

14
15 UNIDENTIFIED MALE: Probably doesn't harm anything,
16 but I don't -- do you think it adds anything? Do you
17 think it's superfluous?

18
19 COMMISSIONER GONZALEZ: I'll actually -- Mikaela,
20 I'll take your advice if you believe that it's fine just
21 having it in the Rank 2 plan. I mean, as you all know,
22 there's a lot of great ideas and philosophy in Rank 1
23 and Rank 2 plans they kind of float away into the ether
24 when you get down to brass tacks, so...

25
26 MS. RENZ-WHITMORE: Mr. Commissioner, I believe
27 that you might want to create a condition that direct
28 staff to consider the existing policy language in all
29 three plans and make sure that it's consistent with the
30 courts and furthers the new policy just added to the
31 West Side Strategic Plan Volcano Mesa amendments.

32
33 CHAIR NICHOLLS: Commissioner McCoy.

34
35 COMMISSIONER MCCOY: I'm going to follow
36 Commissioner Gonzalez's lead. I think if we put this in
37 each of the documents that we're less likely to have
38 this disappear from the Rank 2 plan, creating confusion
39 or potential conflict later. I'm not sure that it's
40 terribly, crucially legally necessary. But it seems to
41 me that it pretty well states it and makes sure we don't
42 lose it from one document and cost ourselves that in
43 three plans.

44
45 CHAIR NICHOLLS: And I think -- from the Chair's
46 point of view, I think Commissioner Gonzalez has made a
47 very good case for insisting that this be brought before
48 us in the Rank 2 plan, but I do think that in the sector
49 development plans, it needs to be there just so that
50 there isn't that issue of it disappearing. I don't

1 think -- well, Commissioner Gonzalez's -- Commissioner,
2 that he would let that happen, but I think it's better
3 if it's spelled out into the record. My position has
4 always been make sure it's in the record, that way it
5 actually happened. If it's not in the record, it may
6 not have happened. That's the interpretation I tend to
7 apply to these situations.

8
9 So would the maker of the motion --

10
11 COMMISSIONER PECK: I haven't made a motion yet.

12
13 CHAIR NICHOLLS: Oh, you haven't yet? But you're
14 going to?

15
16 COMMISSIONER PECK: I could.

17
18 CHAIR NICHOLLS: Commission Peck.

19
20 COMMISSIONER PECK: Thank you, Mr. Chair.

21
22 Regarding Project Number 1008444 13EPC -- am I
23 on the wrong one?

24
25 MS. RENZ-WHITMORE: Excuse me, Mr. Chair.

26
27 CHAIR NICHOLLS: Yes.

28
29 MS. RENZ-WHITMORE: So I was hoping to have one
30 more condition added about directing staff to address
31 concerns and issues raised by stakeholders. May we add
32 that as either Number 8 or Number 9, depending on which
33 order the maker of the motion would like it to appear?

34
35 CHAIR NICHOLLS: Let's make that then Number 9.
36 Perhaps you'd read in the language for us.

37
38 MS. RENZ-WHITMORE: Absolutely. So a new Condition
39 Number 8 for the bicycle amendments would read as
40 follows. The following policy shall be added in the
41 most appropriate location. Quote, bicycles facilities,
42 including on street bicycle lanes and multi-use trails
43 should be designed and developed to meet safety
44 conversations as provided in the Institute for
45 Transportation Engineers, ITE, or American Association
46 of State Highway Transportation Officials, ASHTO,
47 standards.

48
49 A new Number 9, condition Number 9 would read
50 as follows: Staff shall address concerns and issues

1 raised by stakeholder as this plan progresses to city
2 council, including but not limited to blasting,
3 residential garages, integral stucco color and land and
4 development standards versus design standards for
5 already platted portions of the VTRD zone.

6
7 CHAIR NICHOLLS: Okay. Commission Peck, are you
8 comfortable with that?

9
10 COMMISSIONER PECK: Uh-huh.

11
12 CHAIR NICHOLLS: Is there a second.

13
14 COMMISSIONER PECK: Okay. Let's actually finish
15 the motion.

16
17 CHAIR NICHOLLS: Yeah, please.

18
19 COMMISSIONER PECK: Okay. Motion of approval for
20 Project Number 10008444 13EPC-40160, subject to the
21 Findings 1 through 10, Conditions For Approval --
22 recommendation of Approval 1 through 5, and Conditions
23 6, 7, and 9 as read into the record by
24 Ms. Renz-Whitmore.

25
26 COMMISSIONER MCCOY: Second.

27
28 CHAIR NICHOLLS: Further discussion, Commissioners?
29 Hearing none, we have a motion and a second. Those in
30 favor, say aye.

31
32 ALL MEMBERS: Aye.

33
34 CHAIR NICHOLLS: Those against, say no.

35
36 Motion carries unanimously.

37
38 (7-0 vote. Agenda Item 6 approved.)

39
40 CHAIR NICHOLLS: Now we are on Number 7, I believe.

41
42 MS. RENZ-WHITMORE: Mr. Chair, Commissioners, I
43 would like to propose a new Condition Number 14 to the
44 Volcano Cliffs sector development plan that reads as
45 follows: The following policy shall be added in the
46 post appropriate location. Quote, bicycle facilities,
47 including on street bicycle lanes and multi-use trails
48 should be designed and developed to meet safety
49 considerations as provided in the Institute for
50 Transportation Engineers, ITE, or American Association

1 of State Highway Transportation Officials, ASHTO,
2 standards.

3
4 I'd like to propose a new Number 15, a new
5 Condition Number 15, to read as follows: In the
6 proposed fugitive dust amendment, edit Item A to read,
7 in quotes, three-quarters of an acre or over, end quote.
8

9 I'd like to propose a new Condition Number 16
10 to read as follows. In the proposed fugitive dust
11 amendment, add the following language as a new Item F
12 and renumber subsequent items accordingly. Quote, in
13 situations that require grading without a building
14 permit or preliminary plat, or in advance of the
15 building permit or a preliminary plat, the city engineer
16 may grant a grading permit if an applicant makes a
17 special request, provided that the requirements in
18 Items A through C above are met as well as other
19 requirement from both the city engineer and the city
20 environment health department.
21

22 I'd like to propose a new condition Number 17
23 to read as follows: Staff shall address concerns and
24 issues raised by stakeholder as this plan progresses to
25 city council, including but not limited to blasting,
26 residential garages, windows, porches versus courtyards,
27 and height limits in SU-2 VCRR rural residential for
28 private commons development.
29

30 CHAIR NICHOLLS: That should be it, right?

31
32 MS. RENZ-WHITMORE: This is it.
33

34 CHAIR NICHOLLS: That is it. Okay.
35

36 Discussion, Commissioners? Would you like
37 to -- Commissioner Gonzalez.
38

39 (Inaudible crosstalk.)
40

41 COMMISSIONER GONZALEZ: 8444, Case
42 Number 13EPC-40162, recommend approval be afforded to
43 city council based on the Findings 1 through 12 and the
44 Conditions For Recommendation of Approval 1 through 13
45 as written, and 14 through 17, as read into the record.
46

47 CHAIR NICHOLLS: Is there a second?
48

49 COMMISSIONER MCCOY: Second.
50

1 CHAIR NICHOLLS: Seconded by Commissioner McCoy.

2
3 Any further discussion? Hearing none, we have
4 a motion and a second. All those in favor, say yes.

5
6 ALL MEMBERS: Aye.

7
8 CHAIR NICHOLLS: Those against, say no. The motion
9 carries unanimously.

10
11 (7-0 vote. Agenda Item 7 approved.)

12
13 CHAIR NICHOLLS: We're almost done. One more,
14 Agenda Item Number 8, please.

15
16 MS. RENZ-WHITMORE: For Agenda Item Number 8, the
17 Volcano Heights Sector Development Plan, I propose a new
18 condition, Number 15, read as follows: The following
19 policy shall be added in the most appropriate location.
20 Quote, bicycle facilities, including on-street bicycle
21 lanes and multi-use trails should be designed and
22 developed to meet safety considerations as provided in
23 the Institute for Transportation Engineers, ITE, or
24 American Association of State Highway Transportation
25 Officials, ASHTO, standards.

26
27 As a new Number 16, I propose the following
28 condition: In the proposed fugitive dust amendment edit
29 Item A to read three-quarters of an acre or over.

30
31 As a new Item 17, a new Condition Number 17, I
32 propose the following language. In the proposed
33 fugitive dust amendment, add the following language as a
34 new Item F and renumber subsequent items accordingly.
35 Quote, in situations that require grading without a
36 building permit or preliminary plat or in advance of a
37 building permit or preliminary plat, the city engineer
38 may grant a grading permit if an applicant makes a
39 special question, provided that the requirement in
40 Items A through C above are met, as well as other
41 requirements from both the city engineer and the city
42 environmental health departments.

43
44 Finally, as a Number 18, a new Condition
45 Number 18, the following language is proposed: Staff
46 shall address concerns and issues raised by stakeholders
47 as this plan progresses to city council, including but
48 not limited to blasting, residential garages, and
49 regional infrastructure such as Paseo del Norte, Unser
50 Boulevard and backbone utilities.

1 CHAIR NICHOLLS: Okay. Any discussion,
2 Commissioners?

3
4 Commissioner Gonzalez.

5
6 COMMISSIONER GONZALEZ: I just wanted to make some
7 quick comments, because I wasn't sure where we were
8 supposed to make these comments about the whole shebang.
9 And I had three thoughts listening in the testimony that
10 we had today.

11 One was the concern about thwarting development
12 in this area. And I -- I think there is -- you know,
13 that we're all optimistic about the possibilities of
14 building up some major areas that had been kind of
15 sitting aside. But I think that it's also important to
16 remember that what got us into trouble on the west side
17 in the past was hasty development and saying -- just
18 greasing all tracks, going in any direction, and that
19 we -- it seems like if we're intelligent, we won't make
20 the same mistakes that we made in the past.

21
22 The other one is, there was an issue about what
23 should be allowed in these areas and whatnot, and
24 whether we should have these major projects and, you
25 know, whether we should blow up large chunks of
26 escarpment to put in huge buildings and so forth. There
27 was a former commissioner who said something very
28 similar to what one of the speakers said today, which
29 was that there was a -- if you -- if you wanted to
30 protect you had to buy it, and the city should buy it if
31 they wanted to protect it. I can't remember his name.
32 I think it was Hugh Floyd. The -- but the -- I think
33 that there is also a question in my mind about that
34 notion that you -- if the city or the nation didn't buy
35 this land that, it's not more important or more
36 vulnerable. And I think that given its proximity to the
37 Petroglyph and to the open space that we have in that
38 section, that it does require different consideration
39 than other places. And so I just wanted to go on record
40 saying that.

41
42 And in the last part, as far as -- as getting
43 investment and growth in that area, I think the more
44 intelligently that we do it, the more prospects that
45 we'll have if we just do the same thing. And I think
46 this plan and why I like this plan is because this plan
47 is trying to shape a community on west side in a
48 different way, and actually with a much more
49 forward-thinking way of doing. And I think that that
50 ultimately is what attracts investment. So I just

1 wanted to get that on the record.
2
3 CHAIR NICHOLLS: Thank you.
4
5 Any other comments? Can we hear a motion,
6 please. Commissioner Gonzalez.
7
8 COMMISSIONER GONZALEZ: In the matter of project
9 Number 1009414, Case Number 13EPC-40161, I make a motion
10 for recommendation of approval to the city council based
11 on the Findings 1 through 13 and the Conditions of
12 Approval 1 through 14 as written, and 15 through 18 as
13 read into the record.
14
15 CHAIR NICHOLLS: Is there a second?
16
17 COMMISSIONER PECK: Second.
18
19 CHAIR NICHOLLS: Thank you, Commission Peck.
20
21 Any further discussion? Hearing none, we have
22 a motion and a second. Those in favor, say aye.
23
24 ALL MEMBERS: Aye.
25
26 CHAIR NICHOLLS: Those against, say no.
27
28 Motion carries unanimously.
29
30 (7-0 vote. Agenda Item 8 approved.)
31
32 CHAIR NICHOLLS: You're off the hook.
33
34 MS. RENZ-WHITMORE: Thank you commissioner.
35
36 CHAIR NICHOLLS: I didn't want for make it painful,
37 but I wanted it to be very, very clear on the record
38 what we've done today. I think we've also satisfied
39 many of the stakeholders by doing it that way. So thank
40 you. I appreciate it.
41
42 (Conclusion of recording.)
43
44
45
46
47
48
49
50

1 RE: Project Nos. 13EPC-40159, -40160, -10062, -40161
2
3
4

5
6 TRANSCRIPTIONIST'S AFFIRMATION
7

8 I HEREBY STATE AND AFFIRM that the foregoing is a
9 correct transcript of an audio recording provided to me
10 and that the transcription contains only the material
11 audible to me from the recording and was transcribed by
12 me to the best of my ability.

13 IT IS ALSO STATED AND AFFIRMED that I am neither
14 employed by nor related to any of the parties involved
15 in this matter other than being compensated to
16 transcribe said recording and that I have no personal
17 interest in the final disposition of this matter.

18 DATED this 5th day of March 2014.
19
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21

22
23 -----
24 Kelli A. Gallegos
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Public Comments

As of 2/6/2014 – Pre-Staff Report

Renz-Whitmore, Mikaela J.

From: Hoffman, Jim <jim.hoffman@alcon.com>
Sent: Thursday, January 30, 2014 2:06 PM
To: Renz-Whitmore, Mikaela J.; Webb, Andrew
Subject: Public Comment - Volcano Mesa Plan Amendments for EPC 2/13/14

Attached are my comments regarding the three Volcano Mesa sector plan updates to be heard at EPC on 2/13/14.

Volcano Trails

1. Page 7 - The legend Volcano Mesa Road Network map should reflect that intersections are approved, not proposed. A reference to TCC resolution 13-03 should also be included either on the map of the sector plan text.

Volcano Cliffs

2. Page 29 - The legend Volcano Mesa Road Network map should reflect that intersections are approved, not proposed. A reference to TCC resolution 13-03 should also be included either on the map of the sector plan text.
3. Page 34 - The legend Volcano Mesa Road Network map should reflect that intersections are approved, not proposed. Cross section 7.1 does not make sense for Paseo del Norte. Specifically, why would BRT lanes on Paseo del Norte transition from being outside lanes in cross section 7.4, to median lanes in cross section 7.1, and then back to outside lanes in cross section 6?
4. Page 48 - Which side of the road is the multi-use trail on in cross section 7.4 for Paseo del Norte?
5. Page 84 – Align terminology for “significant rock outcropping” in the VCSDP with “rock outcropping” in the VHSDP

Volcano Heights

6. Page 49 - Align terminology for “rock outcropping” in the VHSDP with “significant rock outcropping” in the VCSDP
7. Other definitions – Add definitions for “Leapfrog Development” and “Urban Infill”.

Leapfrog Development – Development that does not occur contiguously to existing development

Urban Infill – New development within an existing community that is enclosed by other types of development

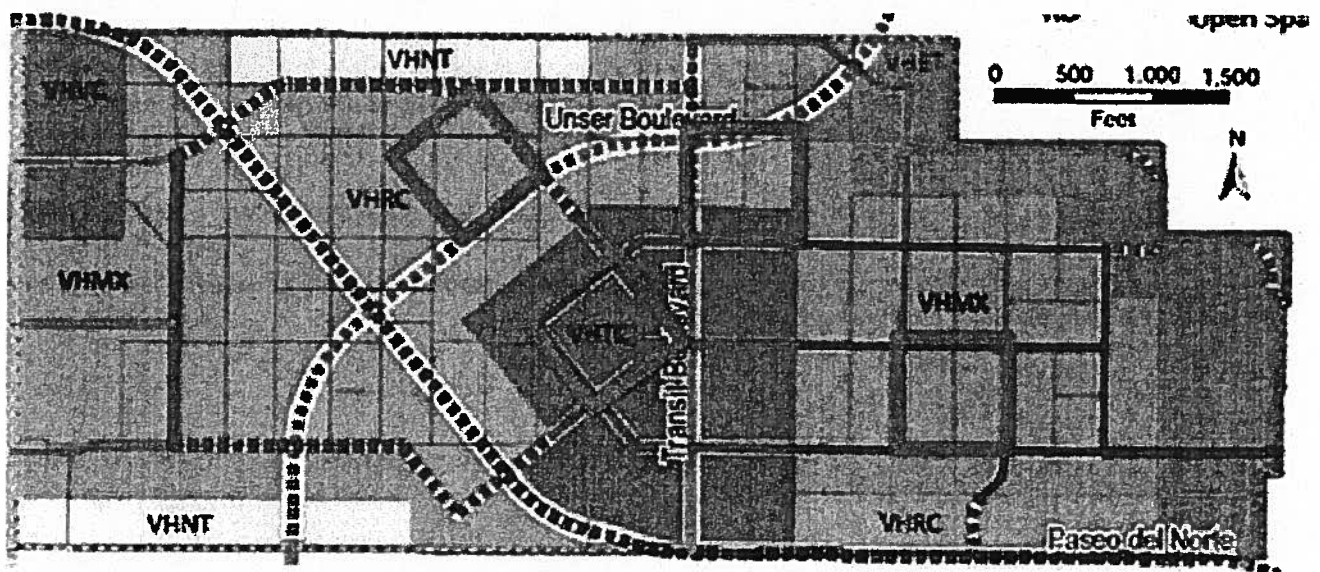
The plan should reference that Volcano Heights is urban infill due to previous leapfrog development that occurred in the past 15 years.

8. Pages 163 / 164 - Cross section ST7.1 does not make sense for Paseo del Norte. Specifically, why would BRT lanes on Paseo del Norte transition from being outside lanes in cross section 7.4, to median lanes in cross section 7.1, and then back to outside lanes in cross section 6?
9. Page 187 / 188 - Which side of the road is the multi-use trail on in cross section ST7.3 for Unser Blvd. and ST7.4 for Paseo del Norte? What is the purpose of the multi-use trails as they are not part of the other cross-sections for Unser Blvd. and Paseo del Norte.

10. Page 197 – I do not agree with section 10.7.2 and table 10.2. Please refer to the figure below that shows four different square ~10 acre parcels (~660' x 660'). Two parcels contain regional center zoning that is supposed to allow more auto oriented use, one parcel is mixed use, and one parcel is town center. If one looks at the two parcels with regional center zoning the corner adjacent to the two "B" streets (Unser Blvd and transit Rd / Loop Rd) would be the most desirable corner for auto oriented uses. However, one is to access this corner via an internal "B" street, then any other internal street within the regional center would need to be an "A" street with the associated "A" streetscape to meet the requirements of table 10.2. Conversely, if one looks at the mixed use or town center parcel which are completely surrounded by "A" streets, internal auto oriented "B" streets can divide these parcels into four smaller parcels (each ~330' x 330') while meeting the requirements of table 10.2. It is counter-intuitive that the more pedestrian oriented town center can be built out with more auto-oriented "B" street flexibility than the regional center zones which are supposed to be more auto-oriented.

This situation arises because Unser Blvd. and Paseo del Norte are classified as "B" streets. While these two regional highways are definitely auto-oriented, they are limited access roadways that do not provide direct site access. Both Unser Blvd. and Paseo del Norte also have "A" street characteristics such as bike lanes and multi-use trails.

I fully support that the entire plan area should incorporate features to create a walkable environment; however, in order to avoid the problems cited above, Unser Blvd. and Paseo del Norte should be classified as "A" streets for determining the percentages in table 10.2.



11. Page 225 - The legend Volcano Mesa Road Network map should reflect that intersections are approved, not proposed.

Additional Comment

I would also like to comment that I fully support Policy 13.3.1 / 13.3.1 i on page 216 regarding Regionally Significant Roads, section 14.1 regarding Priority Capital Improvement Projects on page 234, and the inclusion of the Fiscal Impact Analysis (Appendix E), in the adopted VHSDP. Policy 13.3.1 originated from condition 96 in the previous EPC notice of decision dated December 10, 2012 following public comment regarding regional infrastructure needs. I would like to ask for EPC's re-affirmation of this policy as there is a continued need for constructive dialogue between the City and landowners to plan both the build out of the regional transportation infrastructure of the two regional highways (Unser Blvd. and Paseo del Norte), along with associated "backbone" utility infrastructure to be located along the right-of-way of these highways, while landowners concurrently plan for the secondary roadway and utility infrastructure in the VHSDP plan area.

Respectfully,

James Hoffman

817-551-4335 (work)

817-568-6971 (fax)

817-689-4897 (cell)

Public Comments Received After Staff Report Issued (February 6, 2014)
but before EPC Hearing (February 13, 2014)

Renz-Whitmore, Mikaela J.

From: aboard10@juno.com
Sent: Monday, February 10, 2014 5:31 PM
To: Renz-Whitmore, Mikaela J.
Cc: sagehome@live.com; tspiak59@gmail.com; rshortridge@gmail.com; canyonwrenconsulting@msn.com; hsorrells12@comcast.net; director.3@trna.org
Subject: fugitive dust amendment

Dear Mikayla,

I have been reviewing the proposed amendments to the Volcano Mesa Plans for this week's EPC hearing. I'm interested in the amendments pertaining to fugitive dust. Many of the Taylor Ranch residents below the escarpment have been enduring piles of dust and sand that blow off the mesa onto their property as a result of the mesa top grading. The sand is also burying the escarpment. I'm glad to see an amendment that will include grading requirements for residential development to curb the fugitive dust. I was wondering if clearing and grubbing is also covered under any ordinances to curb fugitive dust?

Rene' Horvath
TRNA
898-2114

City of Albuquerque



DEVELOPMENT/ PLAN REVIEW APPLICATION

Supplemental Form (SF)

SUBDIVISION

- ☐ Major subdivision action
☐ Minor subdivision action
☐ Vacation
☐ Variance (Non-Zoning)

SITE DEVELOPMENT PLAN

- ☐ for Subdivision
☐ for Building Permit
☐ Administrative Amendment/Approval (AA)
☐ IP Master Development Plan
☐ Cert. of Appropriateness (LUCC)

STORM DRAINAGE (Form D)

- ☐ Storm Drainage Cost Allocation Plan

S Z ZONING & PLANNING

- ☐ Annexation
☐ Zone Map Amendment (Establish or Change Zoning, includes Zoning within Sector Development Plans)
☒ Adoption of Rank 2 or 3 Plan or similar
☐ Text Amendment to Adopted Rank 1, 2 or 3 Plan(s), Zoning Code, or Subd. Regulations

D Street Name Change (Local & Collector)

L A APPEAL / PROTEST of...

- ☐ Decision by: DRB, EPC, LUCC, Planning Director, ZEO, ZHE, Board of Appeals, other

PRINT OR TYPE IN BLACK INK ONLY. The applicant or agent must submit the completed application in person to the Planning Department Development Services Center, 600 2nd Street NW, Albuquerque, NM 87102. Fees must be paid at the time of application. Refer to supplemental forms for submittal requirements.

APPLICATION INFORMATION:

Professional/Agent (if any): Nikola Ranz-Whitmore PHONE: 924-3932

ADDRESS: _____ FAX: _____

CITY: _____ STATE _____ ZIP _____ E-MAIL: mren@cabq.gov

APPLICANT: City of Albuquerque PHONE: _____

ADDRESS: 600 2nd St NW FAX: _____

CITY: ABQ STATE NM ZIP 87102 E-MAIL: _____

Proprietary interest in site: _____ List all owners: _____

DESCRIPTION OF REQUEST: Text amendment to Volcano Trails Sector Development Plan

Is the applicant seeking incentives pursuant to the Family Housing Development Program? ☐ Yes. ☐ No.

SITE INFORMATION: ACCURACY OF THE EXISTING LEGAL DESCRIPTION IS CRUCIAL! ATTACH A SEPARATE SHEET IF NECESSARY.

Lot or Tract No. see attached map Block: _____ Unit: _____

Subdiv/Addn/TBKA: _____

Existing Zoning: SU-2 VTVE VTBD VTML VTSL RD Proposed zoning: No change MRGCD Map No _____

Zone Atlas page(s): C8-7 UPC Code: N/A

CASE HISTORY:

List any current or prior case number that may be relevant to your application (Proj., App., DRB, AX, Z, V, S, etc.): 1008444

1004644, 1002962, 1005031, 1008799, 1008800, 1005070, 1002912, 1004404, 1003354, 1002929, 100931

CASE INFORMATION:

Within city limits? ☒ Yes Within 1000FT of a landfill? No

No. of existing lots: _____ No. of proposed lots: No change Total site area (acres): _____

LOCATION OF PROPERTY BY STREETS: On or Near: Paseo del Norte and Universe Boulevard

Between: Major Public Open Space and Universe Blvd.

Check if project was previously reviewed by: Sketch Plat/Plan ☐ or Pre-application Review Team(PRT) ☐ Review Date: _____

SIGNATURE [Signature] DATE 12/26/13

(Print Name) Nikola Ranz-Whitmore for CABQ Applicant: ☐ Agent: ☒

FOR OFFICIAL USE ONLY

Revised: 4/2012

INTERNAL ROUTING	Application case numbers	Action	S.F.	Fees
<input checked="" type="checkbox"/> All checklists are complete	<u>BEPC - 40160</u>	<u>TA</u>	_____	\$ <u>0</u>
<input checked="" type="checkbox"/> All fees have been collected	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> All case #s are assigned	_____	_____	_____	\$ _____
<input checked="" type="checkbox"/> AGIS copy has been sent	_____	_____	_____	\$ _____
<input type="checkbox"/> Case history #s are listed	_____	_____	_____	\$ _____
<input type="checkbox"/> Site is within 1000ft of a landfill	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. density bonus	_____	_____	_____	\$ _____
<input type="checkbox"/> F.H.D.P. fee rebate	_____	_____	_____	\$ _____

Hearing date Feb. 13, 2014

Total \$ 0

12-26-13 Staff signature & Date [Signature] Project # 1002962 - 1008444

FORM Z: ZONE CODE TEXT & MAP AMENDMENTS, PLAN APPROVALS & AMENDMENTS

☐ ANNEXATION (EPC08)

- ☐ Application for zone map amendment including those submittal requirements (see below).
Annexation and establishment of zoning must be applied for simultaneously.
 - ☐ Petition for Annexation Form and necessary attachments
 - ☐ Zone Atlas map with the entire property(ies) clearly outlined and indicated
NOTE: The Zone Atlas must show that the site is in County jurisdiction, but is contiguous to City limits.
 - ☐ Letter describing, explaining, and justifying the request
NOTE: Justifications must adhere to the policies contained in "Resolution 54-1990"
 - ☐ Letter of authorization from the property owner if application is submitted by an agent
 - ☐ Board of County Commissioners (BCC) Notice of Decision
 - ☐ Office of Neighborhood Coordination (ONC) inquiry response form, notification letter(s), certified mail receipts
 - ☐ Sign Posting Agreement form
 - ☐ Traffic Impact Study (TIS) form
 - ☐ List any original and/or related file numbers on the cover application
- EPC hearings are approximately 7 weeks after the filing deadline.* Your attendance is required.

- ☐ SDP PHASE I - DRB CONCEPTUAL PLAN REVIEW (DRBPH1) (Unadvertised)
 - ☐ SDP PHASE II - EPC FINAL REVIEW & APPROVAL (EPC14) (Public Hearing)
 - ☐ SDP PHASE II - DRB FINAL SIGN-OFF (DRBPH2) (Unadvertised)
 - ☐ Copy of findings from required pre-application meeting (needed for the DRB conceptual plan review only)
 - ☐ Proposed Sector Plan (30 copies for EPC, 6 copies for DRB)
 - ☐ Zone Atlas map with the entire plan area clearly outlined and indicated
 - ☐ Letter describing, explaining, and justifying the request
 - ☐ Office of Neighborhood Coordination (ONC) inquiry response form, notification letter(s), certified mail receipts (for EPC public hearing only)
 - ☐ Traffic Impact Study (TIS) form (for EPC public hearing only)
 - ☐ Fee for EPC final approval only (see schedule)
 - ☐ List any original and/or related file numbers on the cover application
- Refer to the schedules for the dates, times and places of DRB and EPC hearings.* Your attendance is required.

☐ AMENDMENT TO ZONE MAP - ESTABLISHMENT OF ZONING OR ZONE CHANGE (EPC05)

- ☐ Zone Atlas map with the entire property clearly outlined and indicated
 - ☐ Letter describing, explaining, and justifying the request pursuant to Resolution 270-1980.
 - ☐ Letter of authorization from the property owner if application is submitted by an agent
 - ☐ Office of Neighborhood Coordination (ONC) inquiry response form, notification letter(s), certified mail receipts
 - ☐ Sign Posting Agreement form
 - ☐ Traffic Impact Study (TIS) form
 - ☐ Fee (see schedule)
 - ☐ List any original and/or related file numbers on the cover application
- EPC hearings are approximately 7 weeks after the filing deadline.* Your attendance is required.

☐ AMENDED TO SECTOR DEVELOPMENT MAP (EPC03)

☒ AMENDMENT SECTOR DEVELOPMENT, AREA, FACILITY, OR COMPREHENSIVE PLAN (EPC04)

- ☒ Proposed Amendment referenced to the materials in the Plan being amended (text and/or map)
 - ☒ Plan to be amended with materials to be changed noted and marked
 - ☒ Zone Atlas map with the entire plan/amendment area clearly outlined
 - ☒ Letter of authorization from the property owner if application is submitted by an agent (map change only)
 - ☒ Letter describing, explaining, and justifying the request pursuant to Resolution 270-1980 (Sector Plan map change only)
 - ☒ Letter briefly describing, explaining, and justifying the request
 - ☒ Office of Neighborhood Coordination (ONC) inquiry response form, notification letter(s), certified mail receipts (for sector plans only)
 - ☒ Traffic Impact Study (TIS) form
 - ☒ Sign Posting Agreement
 - ☒ Fee (see schedule)
 - ☒ List any original and/or related file numbers on the cover application
- EPC hearings are approximately 7 weeks after the filing deadline.* Your attendance is required.

☐ AMENDMENT TO ZONING CODE OR SUBDIVISION REGULATORY TEXT (EPC07)

- ☐ Amendment referenced to the sections of the Zone Code/Subdivision Regulations being amended
 - ☐ Sections of the Zone Code/Subdivision Regulations to be amended with text to be changed noted and marked
 - ☐ Letter describing, explaining, and justifying the request
 - ☐ Fee (see schedule)
 - ☐ List any original and/or related file numbers on the cover application
- EPC hearings are approximately 7 weeks after the filing deadline.* Your attendance is required.

I, the applicant, acknowledge that any information required but not submitted with this application will likely result in deferral of actions.

Mikaela Penz-Whitmore for CABO
Applicant name (print)
[Signature] 12/26/13
Applicant signature & Date



Revised: June 2011

- ☒ Checklists complete
 - ☒ Fees collected
 - ☒ Case #s assigned
 - ☒ Related #s listed
- Application case numbers
13 EPC - 401160

[Signature] 12-26-13
Staff signature & Date
Project # 1002962 1008444

CITY OF ALBUQUERQUE

Planning Department

Suzanne Lubar, Acting Director
600 2nd Street NW – 3rd Floor
Albuquerque, NM 87102



December 23, 2013

Richard J. Berry, Mayor

Mr. Hugh Floyd, EPC Chair
Environmental Planning Commission
c/o City of Albuquerque Planning Department
600 2nd Street NW, Suite 300
Albuquerque, NM 87102

Dear Chairman Floyd,

The Planning Department respectfully requests that the Environmental Planning Commission review and recommend adoption of text amendments to the **Volcano Trails Sector Development Plan (SDP)** to the City Council.

After the City Council adopted the Volcano Heights SDP in August 2013, the Planning Department returned to all three sector development plans in Volcano Mesa, as originally intended, to update the transportation network to be consistent among the three plans. During this review, other minor items were also identified to be clarified and adjusted to better meet plan goals.

Proposed Changes

The zoning map designations will not be affected, nor will goals and policies change. The proposed changes include the following items:

- 1) Updating transportation network map and standards to be consistent with Volcano Heights SDP, including adding cross sections and access modifications, Volcano Cliffs SDP, and Special Assessment District 228 to include the full transportation network within Volcano Mesa.
- 2) Fixing the zoning map label for VTRD where it was colored correctly but labeled incorrectly.
- 3) Revising General Standards regarding residential garages and utilities to be consistent with the Volcano Heights SDP.
- 4) Revising General Regulations regarding plant lists, color restrictions, and grading to be consistent with Volcano Heights SDP.

The VTSDP responds to multiple changed conditions in the area and furthers a preponderance of applicable goals, policies, and intents from the Rank 1 Comprehensive Plan and the Rank 2 West Side Strategic Plan, therefore complying with and furthering key policies of R-270-1980.

Background

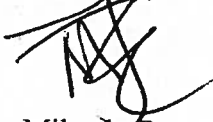
Volcano Trails is one of three sector plan areas that make up Volcano Mesa, a community covering approximately 3,532 acres. Volcano Heights and Volcano Cliffs are the other two sector plan areas. Volcano Trails was originally owned and master planned by one developer: Longford Homes. Its single-family subdivisions have been constructed most recently by DR Horton. Future phases of construction are expected to be accomplished by a variety of developers.

The Volcano Trails SDP covers 446 acres of land and contains goals and policies related to Transportation, the Environment /Open Space, and Land Use. The Land Use chapter adopts zoning and general regulations to guide future development within the area. The policies and regulations in the plan were developed to reflect the Vision and Guiding Principles in the plan, as well as implementing the policies of the Volcano Mesa amendment to the Rank 2 West Side Strategic Plan.

Volcano Mesa is unique in being surrounded on three sides by more than 7,000 acres of open space under City, State and Federal jurisdictions. The Volcano Mesa area includes portions of the land the US Congress set aside in 1990 as Petroglyph National Monument (the "Monument"). All plans within the Volcano Mesa area help guide development to be sensitive and responsive to the area's unique cultural, geological, and archaeological history, including both challenges and opportunities.

The Volcano Mesa plans also work together to accomplish several objectives: (1) to address the jobs/housing imbalance on the City's West Side by allowing mixed uses and increased density in appropriate places in each Plan area, (2) to address traffic congestion by contributing to the roadway network grid on the West Side and encouraging transit-supportive development along key corridors; and (3) to improve quality of life for residents by providing opportunities for goods and services within easy walking and biking distance of neighborhoods.

Sincerely,



Mikaela Renz-Whitmore, Planner (505-924-3932 or mrenz@cabq.gov)



ENVIRONMENTAL PLANNING COMMISSION ACTIONSHEET

Thursday, February 13, 2014
Plaza Del Sol Hearing Room
Lower Level
2nd Street NW

MEMBERS PRESENT:

Peter Nicholls, Chair
James Peck, Vice-Chair
Moisés González
Patrick Griebel
Bill McCoy

MEMBERS ABSENT:

Maia Mullen

RECORDING SECRETARY:

Madeline Carruthers

1. Call to Order: 8:36 AM

- A. Introduction of New Current Planning Manager
- B. Presentation of Plaque to Hugh Floyd
- C. Announcement of Changes and/or Additions to the Agenda
- D. Approval of Amended Agenda – APPROVED
- E. Swearing in of City Staff

2. Project# 1006520

13EPC-40156 Amendment to Site
Development Plan for Building Permit

13EPC-40157 Amendment to Site
Development Plan for Subdivision

FBT Architects agent for Twilight Homes of New Mexico requests the above actions for Tract A and Tract B-1, Hope Plaza Subdivision, zoned SU-1 for O-1 and R-T, located at 8700 Alameda Blvd. NE, between Barstow St. and Ventura St., containing approximately 6.2 acres. (C-20)

Staff Planner: Chris Glore

13EPC-40156 - WITHDRAWN

13EPC-40157 - APPROVED

3. Project# 1003275

13EPC-40148 Site Development Plan for
Subdivision

Garrett Development Corp agent for Western Albuquerque Land Holdings LLC requests the above action for all or a portion of lot 1-A-1, El Rancho Atrisco Phase III zoned SU-1 Office & Commercial located on Unser Blvd NW between Hanover Rd NW and Ladera Dr NW containing approximately 19.98 acres. (H-9)

Staff Planner: Chris Glore

APPROVED

130

4. Project# 1003859

13EPC-40137 Site Development Plan for
Building Permit Interpretation

COA Planning Department request the above action for all
or a portion of lot 6B, Lands of Ray Graham III, Ovenwest
Corp., zoned SU-1/O-1, C-2 & PRD, located on Coors
between Montano and Learning containing approximately
15 acres. (E-12)

Staff Planner: Russell Brito

DEFERRED TO MAY 8, 2014

5. Project# 1008444

13EPC-40159 Text Amendment to Area Plan

City of Albuquerque requests the above action for a portion
of the planning area covered by the West Side Strategic
Plan defined as Volcano Mesa, located near Paseo del
Norte and Unser Boulevard between Major Public Open
Space and the Petroglyph National Monument, containing
approximately 3,532 acres. (C-8-11, D-8-11)

Staff

Planner: Mikaela Renz-Whitmore

**RECOMMENDATION OF APPROVAL TO CITY
COUNCIL**

6. Project# 1008444

13EPC-40160 Text Amendment to Sector
Development Plan

City of Albuquerque requests the above action for all of
Volcano Trails, zoned SU-2 / VTVC / VTUR / VTRD /
VTSL / VTML/RD located near Paseo del Norte and
Woodmont Avenue between Major Public Open Space and
Universe Boulevard, containing approximately 446 acres.
(C-8 & 9)

Staff Planner: Mikaela Renz-Whitmore

**RECOMMENDATION OF APPROVAL TO CITY
COUNCIL**

7. Project# 1008444

13EPC-40162 Text Amendment to Sector
Development Plan

City of Albuquerque requests the above action for all of
Volcano Cliffs, zoned SU-2 / VCVC / VCUR / VCRR /
VCMX / VCLL or R-1, located near Unser Boulevard and
Rainbow Boulevard between Boulevard de Oest and the
Petroglyph National Monument, containing approximately
2,327 acres. (C-8-11, D-8-11)

Staff Planner: Mikaela Renz-Whitmore

**RECOMMENDATION OF APPROVAL TO CITY
COUNCIL**

8. Project# 1009414
13EPC-40161 Text Amendment to Sector
Development Plan

City of Albuquerque requests the above action for all of
Volcano Heights, zoned SU-2 / VHTC / VHVC / VHRC /
VHMX / VHET / VHNT located near Paseo del Norte and
Unser Boulevard between Universe Boulevard and the
Petroglyph National Monument, containing approximately
569 acres. (C-10 & 11)

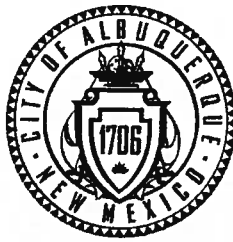
Staff Planner: Mikaela Renz-Whitmore

**RECOMMENDATION OF APPROVAL TO CITY
COUNCIL**

9. OTHER MATTERS:

- A. Approval of January 9, 2014 Minutes. APPROVED
- B. Hearing Procedures
 - Discussion of Pledge of Allegiance at beginning of hearings
 - Discussion of placement of microphone for public speakers either at podium or sitting at table.
- C. EPC Training Retreat
 - Possible training retreat at the April Study session.

10. ADJOURNED AT 2:21 PM



ENVIRONMENTAL PLANNING COMMISSION AGENDA

**Thursday, February 13, 2014
8:30 a.m.**

**Plaza Del Sol Hearing Room, Lower Level
600 2nd Street NW**

MEMBERS

**Peter Nicholls, Chair
James Peck, Vice-Chair**

**Doug Peterson
Maia Mullen
Bill McCoy**

**Moises Gonzalez
Patrick Griebel**

NOTE: A LUNCH BREAK AND/OR DINNER BREAK WILL BE ANNOUNCED AS NECESSARY

Agenda items will be heard in the order specified unless changes are approved by the EPC at the beginning of the hearing; deferral and withdrawal requests (by applicants) are also reviewed at the beginning of the hearing. Applications with no known opposition that are supported by the Planning Department are scheduled at the beginning of the agenda; these cases are noted with an asterisk (*). Applications deferred from a previous hearing are normally scheduled at the end of the agenda.

There is no set time for cases to be heard. However, interested parties can monitor the progress of the hearing by calling the Planning Department at 924-3860. All parties wishing to address the Commission must sign-in with the Commission Secretary at the front table prior to the case being heard. Please be prepared to provide brief and concise testimony to the Commission if you intend to speak. **In the interest of time, presentation times are limited as follows, unless otherwise granted by the Commission Chair: Staff – 5 minutes; Applicant – 10 minutes; Public speakers – 2 minutes each. An authorized representative of a recognized neighborhood association or other organization may be granted additional time if requested. Applicants and members of the public with legal standing have a right to cross-examine other persons speaking per Rule B.12 of the EPC Rules of Conduct.**

All written materials – including petitions, legal analysis and other documents – should ordinarily be submitted at least 10 days prior to the public hearing, ensuring presentation at the EPC Study Session. The EPC strongly discourages submission of written material at the public hearing. Except in extraordinary circumstances, the EPC will not consider written materials submitted at the hearing. In the event the EPC believes that newly submitted material may influence its final decision, the application may be deferred to a subsequent hearing.

**NOTE: ANY AGENDA ITEMS NOT HEARD BY 8:30 P.M. MAY BE DEFERRED TO ANOTHER
HEARING DATE AS DETERMINED BY THE PLANNING COMMISSION.**

1. Call to Order:

- A. Introduction of New Current Planning Manager
- B. Presentation of Plaque to Hugh Floyd
- C. Announcement of Changes and/or Additions to the Agenda
- D. Approval of Amended Agenda
- E. Swearing in of City Staff

2. Project# 1006520

13EPC-40156 Amendment to Site
Development Plan for Building Permit

13EPC-40157 Amendment to Site
Development Plan for Subdivision

FBT Architects agent for Twilight Homes of New Mexico requests the above actions for Tract A and Tract B-1, Hope Plaza Subdivision, zoned SU-1 for O-1 and R-T, located at 8700 Alameda Blvd. NE, between Barstow St. and Ventura St., containing approximately 6.2 acres. (C-20)

Staff Planner: Chris Glore

3. Project# 1003275

13EPC-40148 Site Development Plan for
Subdivision

Garrett Development Corp agent for Western Albuquerque Land Holdings LLC requests the above action for all or a portion of lot 1-A-1, El Rancho Atrisco Phase III zoned SU-1 Office & Commercial located on Unser Blvd NW between Hanover Rd NW and Ladera Dr NW containing approximately 19.98 acres. (H-9)

Staff Planner: Chris Glore

(DEFERRED FROM DECEMBER 12, 2013)

4. Project# 1003859

13EPC-40137 Site Development Plan for
Building Permit Interpretation

COA Planning Department request the above action for all or a portion of lot 6B, Lands of Ray Graham III, Owenwest Corp., zoned SU-1/O-1, C-2 & PRD, located on Coors between Montano and Learning containing approximately 15 acres. (E-12)

Staff Planner: Russell Brito

**(DEFERRED FROM NOVEMBER 14, 2013, &
JANUARY 9, 2014)**

5. Project# 1008444

13EPC-40159 Text Amendment to Area Plan

City of Albuquerque requests the above action for a portion of the planning area covered by the West Side Strategic Plan defined as Volcano Mesa, located near Paseo del Norte and Unser Boulevard between Major Public Open Space and the Petroglyph National Monument, containing approximately 3,532 acres. (C-8-11, D-8-11)

Staff

Planner: Mikaela Renz-Whitmore

6. Project# 1008444

13EPC-40160 Text Amendment to Sector Development Plan

City of Albuquerque requests the above action for all of Volcano Trails, zoned SU-2 / VTVC / VTUR / VTRD / VTSL / VTML/RD located near Paseo del Norte and Woodmont Avenue between Major Public Open Space and Universe Boulevard, containing approximately 446 acres. (C-8 & 9)

Staff Planner: Mikaela Renz-Whitmore

7. Project# 1008444

13EPC-40162 Text Amendment to Sector Development Plan

City of Albuquerque requests the above action for all of Volcano Cliffs, zoned SU-2 / VCVC / VCUR / VCRR / VCMX / VCLL or R-1, located near Unser Boulevard and Rainbow Boulevard between Boulevard de Oest and the Petroglyph National Monument, containing approximately 2,327 acres. (C-8-11, D-8-11)

Staff Planner: Mikaela Renz-Whitmore

8. Project# 1009414

13EPC-40161 Text Amendment to Sector Development Plan

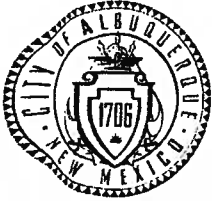
City of Albuquerque requests the above action for all of Volcano Heights, zoned SU-2 / VHTC / VHVC / VHRC / VHMx / VHET / VHNT located near Paseo del Norte and Unser Boulevard between Universe Boulevard and the Petroglyph National Monument, containing approximately 569 acres. (C-10 & 11)

Staff Planner: Mikaela Renz-Whitmore

9. OTHER MATTERS:

- A. Approval of January 9, 2014 Minutes.
- B. Hearing Procedures
- C. EPC Training Retreat

10. ADJOURNED



**CITY OF ALBUQUERQUE
PLANNING DEPARTMENT**

INTER-OFFICE MEMORANDUM

TO: ENVIRONMENTAL HEALTH/Suzanne Busch
PARKS & RECREATION:
PARK DESIGN/Carol Dumont
OPEN SPACE DIVISION/Susannah Abbey
PLANNING:
LONG RANGE PLANNING/Maggie Gould
METROPOLITAN REDEVELOPMENT/ John G. Rivera
HYDROLOGY/Curtis Cherne
NEIGHBORHOOD COORDINATION/Stephani Winklepleck
TRANSPORTATION DEV. SERVICES/Cynthia Beck/Nilo Salgado-Fernandez
ZONING/Jonathan Turner
ABC WATER UTILITY AGENCY/Allan Porter
POLICE DEPARTMENT/Steve Sink
FIRE DEPARTMENT/Richard C. Suazo
SOLID WASTE MANAGEMENT DEPARTMENT/Lee Whistle
TRANSPORTATION PLANNING/Debbie Bauman
TRANSIT DEPARTMENT/Shabih Rizvi
ALBUQUERQUE PUBLIC SCHOOLS/April Winters
AMAFCA/Lynn Mazur
COUNTY OF BERNALILLO/Nano Chavez
MID-REGION COUNCIL OF GOVERNMENTS/Steven Montiel
MIDDLE RIO GRANDE CONSERVANCY DISTRICT/Ray A. Gomez
NM DEPARTMENT OF TRANSPORTATION/Nancy Perea
NM GAS COMPANY/Brandon Kaufman
PETROGLYPH NATIONAL MONUMENT/Diane Souder
PUBLIC SERVICE COMPANY OF NEW MEXICO/Laurie Moye

FROM: Russell Brito, Urban Design & Development, Planning Department

SUBJECT: ENVIRONMENTAL PLANNING COMMISSION CASE DISTRIBUTION

Attached are the legal descriptions, applications, and related materials for the cases scheduled for public hearing before the Environmental Planning Commission on **FEBRUARY 13, 2014**.

Please remember that all agency comments are due **NO LATER THAN JANUARY 10, 2014**.

COMMENTS TO: Chris Glore (cglore@cabq.gov)
Mikaela Renz-Whitmore (mrenz@cabq.gov)
Lorena Patten-Quintana (lpatten-quintana@cabq.gov)

Project# 1006520
13 EPC-40156 AMEND SITE
DEVELOPMENT PLAN - BLD PRMT

13 EPC-40157 AMEND SITE
DEVELOPMENT PLAN - SUBDVN

TWILIGHT HOMES OF NM agent(s) for FBT ARCHITECTS request(s) the above action(s) for all or a portion of lot(s) B-1, block(s) 4, TRACT 3, HOPE PLAZA Unit(s) 3 zoned SU-2/O-1 & R-T located on SIGNAL BETWEEN BARSTOW AND VENTURA containing approximately .78 acre(s). (C-20)
Staff Planner: Chris Glore

Project# 1009923
13 EPC-40158 AMEND SITE
DEVELOPMENT PLAN - BLD PRMT

RIO GRANDE ENGINEERING agent(s) for CARLISLE PLAZA UNITED METHODIST CHURCH request(s) the above action(s) for all or a portion of lot(s) 1, block(s) 13, CARLISLE PLAZA UNITED METHODIST CHURCH zoned SU-1 CHURCH & RELATED FACILITIES located on MONTCLAIRE BETWEEN CANDELARIA AND VALVERDE containing approximately .688 acre(s). (G-17)
Staff Planner: Lorena Patten-Quintana

Project# 1009927
13 EPC-40159 AMNDT TO SECTOR DEV,
AREA, FAC, OR COMP

CITY OF ALBUQUERQUE agent(s) for CITY OF ALBUQUERQUE request(s) the above action(s) for all or a portion of WEST SIDE STRATEGIC PLAN located on PASEO DEL NORTE OR UNSER BETWEEN MAJOR PUBLIC OPEN SPACE AND PETROGLYPH NATIONAL MONUMENT (SEE MAP PAGE)
Staff Planner: Mikaela Renz-Whitmore

Project# 1009928
13 EPC-40162 AMNDT TO SECTOR DEV,
AREA, FAC, OR COMP

CITY OF ALBUQUERQUE agent(s) for CITY OF ALBUQUERQUE request(s) the above action(s) for all or a portion of lot(s) SEE ATTACHED MAP, VOLCANO CLIFFS SDP zoned SU-2/VCVC/VCUR/VCRR/VCMX/R-1/VCLL located on UNSER AND RAINBOW BETWEEN BOULEVARD DE OEST AND PETROGLYPH NATIONAL MONUMENT (C-8-11, D8-11)
Staff Planner: Mikaela Renz-Whitmore

Project# 1002962

13EPC-40160 AMNDT TO SECTOR DEV,
AREA, FAC, OR COMP

CITY OF ALBUQUERQUE agent(s) for CITY OF ALBUQUERQUE request(s) the above action(s) for all or a portion of lot(s) SEE ATTACHED MAP, VOLCANO MESA zoned SU-2/VTVC/VTUR/VTRD/VTSL/VTML/RD located on PASEO DEL NORTE AND UNIVERSE BETWEEN MAJOR PUBLIC OPEN SPACE AND UNIVERSE (C-8 & 9)

Staff Planner: Mikaela Renz-Whitmore

Project# 1009414

13EPC-40161 AMNDT TO SECTOR DEV,
AREA, FAC, OR COMP

CITY OF ALBUQUERQUE agent(s) for CITY OF ALBUQUERQUE request(s) the above action(s) for all or a portion of lot(s) SEE ATTACHED MAP, zoned SU-2/VHTC/VHVC/VHRC/VHMX/VHET/VHNT located on PASEO DEL NORTE AND UNIVER BETWEEN UNIVER AND PETROGLYPH NATIONAL MONUMENT containing approximately 569.11 acre(s). (C-10 & 11)

Staff Planner: Mikaela Renz-Whitmore



City of Albuquerque

P.O. Box 1293, Albuquerque, NM 87103

December 4, 2013

Mikaela Renz-Whitmore
City of Albuquerque
Planning Department
600 Second Street NW, Third Floor/87102
Phone: 505-924-3932/Fax: 505-924-3339
E-mail: mrenz@cabaq.gov

PLEASE NOTE: The Neighborhood and/or Homeowner Association information listed in this letter is valid for one (1) month. If you haven't filed your application within one (1) month of the date of this letter – you will need to get an updated letter from our office.

Dear Mikaela:

Thank you for your inquiry of **December 4, 2013** requesting the names of **ALL Neighborhood and/or Homeowner Associations and Coalitions** who would be affected under the provisions of O-92 by your proposed project at **(EPC SUBMITTAL FOR CITY PROJECT) – VOLCANO TRAILS SECTOR DEVELOPMENT PLAN LOCATED NEAR RAINBOW BOULEVARD NW BETWEEN PASEO DEL NORTE NW AND THE VOLCANO CLIFFS SECTOR DEVELOPMENT PLAN BOUNDARIES** Zone Map: **B-8-10, C-8-10.**

Our records indicate that the **Neighborhood and/or Homeowner Associations and Coalitions** affected by this proposal and the contact names are as follows:

See "Attachment A" for contact information on this EPC Submittal – swinklepleck

Please note that according to O-92 you are required to notify each of these contact persons by **certified mail, return receipt requested, before** the Planning Department will accept your application filing. **IMPORTANT! Failure of adequate notification may result in your Application Hearing being deferred for 30 days.** If you have any questions about the information provided, please contact me at (505) 924-3902 or via an e-mail message at swinklepleck@cabaq.gov or by fax at (505) 924-3913.

Sincerely,

Stephani Winklepleck

Stephani Winklepleck
Neighborhood Liaison
OFFICE OF NEIGHBORHOOD COORDINATION
Planning Department

**LETTERS MUST BE SENT TO BOTH
CONTACTS OF EACH
NA AND/OR HOA AND COALITION
PROVIDED ON THIS LETTER.**

planningnaform(03/20/12)

!!!Notice to Applicants!!!

SUGGESTED INFORMATION FOR NEIGHBORHOOD NOTIFICATION LETTERS

Applicants for Zone Change, Site Plan, Sector Development Plan approval or an amendment to a Sector Development Plan by the EPC, DRB, etc. are required under Council Bill O-92 to notify all affected recognized neighborhood associations **PRIOR TO FILING THE APPLICATION TO THE PLANNING DEPARTMENT**. Because the purpose of the notification is to ensure communication as a means of identifying and resolving problems early, it is essential that the notification be fully informative.

WE RECOMMEND THAT THE NOTIFICATION LETTER INCLUDE THE FOLLOWING INFORMATION:

1. The street address of the subject property.
2. The legal description of the property, including lot or tract number (if any), block number (if any), and name of the subdivision.
3. A physical description of the location, referenced to streets and existing land uses.
4. A complete description of the actions requested of the EPC:
 - a) If a **ZONE CHANGE OR ANNEXATION**, the name of the existing zone category and primary uses and the name of the proposed category and primary uses (i.e., "from the R-T Townhouse zone, to the C-2 Community Commercial zone").
 - b) If a **SITE DEVELOPMENT OR MASTER DEVELOPMENT PLAN** approval or amendment describe the physical nature of the proposal (i.e., "an amendment to the approved plan to allow a drive-through restaurant to be located just east of the main shopping center entrance off Montgomery Blvd.").
 - c) If a **SECTOR DEVELOPMENT PLAN OR PLAN AMENDMENT** a general description of the plan area, plan concept, the mix of zoning and land use categories proposed and description of major features such as location of significant shopping centers, employment centers, parks and other public facilities.
 - d) The name, address and telephone number of the applicant and of the agent (if any). In particular the name of an individual contact person will be helpful so that neighborhood associations may contact someone with questions or comments.

Information from the Office of Neighborhood Coordination

The following information should always be in each application packet that you submit for an EPC or DRB application. Listed below is a "Checklist" of the items needed.

- ☒ **ONC's "Official" Letter to the applicant (if there are associations). A copy must be submitted with application packet -OR-**
- ☐ The ONC "Official" Letter (if there are no associations). A copy must be submitted with application packet.
- ☒ **Copies of Letters to Neighborhood and/or Homeowners Associations (if there are associations). A copy must be submitted with application packet.**
- ☒ **Copies of the certified receipts to Neighborhood and/or Homeowners Associations (if there are associations). A copy must be submitted with application packet.**

Just a reminder - Our ONC "Official" Letter is only valid for a one (1) month period and if you haven't submitted your application by this date, you will need to get an updated letter from our office.

Any questions, please feel free to contact Stephani at 924-3902 or via an e-mail message at swinklepleck@cabq.gov.

Thank you for your cooperation on this matter.

(below this line for ONC use only)

Date of Inquiry: 12/04/13 Time Entered: 3:10 p.m. ONC Rep. Initials: siw



NOTICE OF PUBLIC HEARING

Notice is hereby given that the City of Albuquerque Environmental Planning Commission (EPC) will hold a **Public Hearing on Thursday, February 13, 2014 at 8:30 a.m.**, in the Plaza del Sol Hearing Room, Lower Level, Plaza del Sol building, 600 2nd St. NW, Albuquerque, NM to consider the items described below.

Distribution of the Planning Department's staff reports regarding the following items will occur at a **Case Distribution Session on Thursday, February 6, 2014 at 3:00 p.m.**, in the Plaza del Sol Hearing Room, Lower Level, Plaza del Sol Building, 600 2nd St. NW, Albuquerque, NM.

Project# 1006520

13EPC-40156 Amendment to Site
Development Plan for Building Permit

13EPC-40157 Amendment to Site
Development Plan for Subdivision

FBT Architects agent for Twilight Homes of New Mexico requests the above actions for Tract A and Tract B-1, Hope Plaza Subdivision, zoned SU-1 for O-1 and R-T, located at 8700 Alameda Blvd. NE, between Barstow St. and Ventura St., containing approximately 6.2 acres. (C-20) Staff Planner: Chris Glore

Project# 1008444

13EPC-40159 Text Amendment to Area Plan

City of Albuquerque requests the above action for a portion of the planning area covered by the West Side Strategic Plan defined as Volcano Mesa, located near Paseo del Norte and Unser Boulevard between Major Public Open Space and the Petroglyph National Monument, containing approximately 3,532 acres. (C-8-11, D-8-11) Staff Planner: Mikaela Renz-Whitmore\

Project# 1008444

13EPC-40160 Text Amendment to Sector
Development Plan

City of Albuquerque requests the above action for all of Volcano Trails, zoned SU-2 / VTVC / VTUR / VTRD / VTSL / VTML/RD located near Paseo del Norte and Woodmont Avenue between Major Public Open Space and Universe Boulevard, containing approximately 446 acres. (C-8 & 9) Staff Planner: Mikaela Renz-Whitmore



DEVELOPER INQUIRY SHEET

To obtain NA/HOA Contact Information for Application Submittal to the Planning Department.

The Office of Neighborhood Coordination (ONC) located in Room 120 (basement) of the Plaza Del Sol Building, 600 Second Street NW, Fax: (505) 924-3913 -OR- you can e-mail the Zone Map and Developer Inquiry Sheet to: Stephani Winklepleck, e-mail: swinklepleck@caba.gov. ONC will need the following information **BEFORE** NA/HOA Contact Information will be released to the Applicant/Agent on any Project being presented to the Planning Department. If you have any questions, please feel free to contact our office at (505) 924-3914.

Zone Map and this Developer Inquiry Sheet **MUST** be provided with request. Please mark/hatch Zone Map where Property is located.

Your Developer Inquiry is for the following:
☐ Cell Tower Submittal ☐ Free-Standing Tower -OR- ☐ Concealed Tower
☐ EPC Submittal ☐ DRB Submittal ☐ LUCC Submittal ☐ Liquor Submittal
☐ Administrative Amendments (AA's) Submittal ☒ City Project Submittal

CONTACT NAME: City of Albuquerque, Mikaela Renz-Whitmore
COMPANY NAME: City of Albuquerque
ADDRESS/ZIP: 600 2nd St. NW, Ste 300 87103
PHONE: 924-3932 FAX: 924-3339

LEGAL DESCRIPTION INFORMATION

LEGAL DESCRIPTION OF THE SUBJECT SITE FOR THIS PROJECT SUBMITTAL IS DESCRIBED BELOW (i.e., Lot A, Block A, of the For Your Information Subdivision):

Volcano Trails Sector Development Plan

LOCATED ON

LEGAL DESCRIPTION

BETWEEN

STREET NAME OR OTHER IDENTIFYING LANDMARK

STREET NAME OR OTHER IDENTIFYING LANDMARK

AND

STREET NAME OR OTHER IDENTIFYING LANDMARK

THE SITE IS LOCATED ON THE FOLLOWING ZONE ATLAS PAGE ().

ONC/DevelopInquirySheet/siw (01/26/12)

B 8 C 8
B 9 C 9
B 10 C 10
112

ATTACHMENT A

Mikaela Renz-Whitmore
City of Albuquerque
Planning Department
600 Second Street NW, Third Floor/87102
Phone: 505-924-3932/Fax: 505-924-3339
E-mail: mrenz@cabq.gov
Zone Map: B-8-10 & C-8-10

PARADISE HILLS CIVIC ASSOC. "R"

***Tom Anderson**

10013 Plunkett Dr. NW/87114 897-2593 (h)

Maria Warren

5020 Russell NW/87114 440-2240 (h)

PETROGLYPH ESTATES OWNERS ASSOC., INC.

***Steven J. Metro**

4900 Lang Ave. NE/87109 280-4553 (c)

Blake Thompson

3009 Palo Alto Dr. NE/87111 328-3117 (c)

VENTANA RANCH N.A. "R"

***Laura Horton**

7224 Cascada NW/87114 710-0646 (c)

Joy Garratt

10308 Marin Dr. NW/87114 977-5039 (h)

VOLCANO CLIFFS PROPERTY OWNERS ASSOC.

***Dave Heil**

160 Itasca Rd., Rio Rancho, NM/87124 228-7189 (c)

Ralph Davis

5612 Popo Dr. NW/87120 280-6512 (c)

WESTSIDE COALITION OF N.A.'S

***Candelaria Patterson**, 7608 Elderwood NW/87120 321-1761 (c)

Harry Hendriksen, 10592 Rio Del Sole Ct. NW/87114-2701 890-3481 (h)

***President of NA/HOA/Coalition**

Neighborhood Associations	VCSDP	VHSDP	VTSDP
Molten Rock	1		
Paradise Hills	1	1	1
Petroglyph Estates	1	1	1
Taylor Ranch	1	1	
Ventana Ranch	1	1	1
Volcano Cliffs POA	1	1	1
Westside Coalition of NA	1	1	1
Total	7	6	5

UCSDP, VHSDP, VTSDP

Tom Anderson, Paradise Hills Civic
Assoc.
10013 Plunkett Dr. NW
Albuquerque, NM 87114

Maria Warren, Paradise Hills Civic
Assoc,
5020 Russell NW
Albuquerque, NM 87114

Steven J. Metro, Petroglyph Estates
Owners Assoc.
4900 Lang Ave. NE
Albuquerque, NM 87109

Black Thompson, Petroglyph Estates
Owners Assoc.
3009 Palo Alto Dr. NE
Albuquerque, NM 87111

Laura Horton, Ventana Ranch NA
7224 Cascada NW
Albuquerque, NM 87114

Joy Garratt, Ventana Ranch NA
10308 Marin Dr. NW
Albuquerque, NM 87114

Dave Heil, Volcano Cliffs prop.
Owners Assoc.
160 Itasca Rd.
Rio Rancho, NM 87124

Ralph Davis, Volcano Cliffs Prop.
Owners Assoc.
5612 Popo Dr. NW
Albuquerque, NM 87120

Candelaria Patterson, Westside
Coalition of NA's
7608 Elderwood NW
Albuquerque, NM 87120

Harry Hendriksen, Westside
Coalition of NA's
10592 Rio Del Sole Ct NW
Albuquerque, NM 87114-2701

~~Tom Anderson, Paradise Hills
Civic Assoc
10013 Plunkett Dr. NW
Albuquerque, NM 87114~~

Ray Shortridge, Taylor Ranch NA
4800 College Heights Dr. NW
Albuquerque, NM 87120

Rene Horvath, Taylor Ranch NA
5515 Palomino Dr. NW
Albuquerque, NM 87120

~~Laura Horton, Ventana Ranch NA
7224 Cascada NW
Albuquerque, NM 87114~~

~~Joy Garratt, Ventana Ranch NA
10308 Marin Dr. NW
Albuquerque, NM 87114~~

Markku Koskelo, Molten Rock NA
7916 Victoria Dr. NW
Albuquerque, NM 87120

Lydia Ashanin, Molten Rock NA
8001 Cliff Rd NW
Albuquerque, NM 87120

7012 1010 0002 6708 7118

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Total Postage		

Sent To: **Black Thompson, Petroglyph Estat
Owners Assoc.
3009 Palo Alto Dr. NE
Albuquerque, NM 87111**

PS Form 3800, August 2006 See Reverse for Instructions

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Sent To: **Markku Koskelo, Molten Rock NA
7916 Victoria Dr. NW
Albuquerque, NM 87120**

PS Form 3800, August 2006 See Reverse for Instructions

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Sent To: **Lydia Ashanin, Molten Rock NA
8001 Cliff Rd NW
Albuquerque, NM 87120**

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7012 1010 0002 6708 7194

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Sent To: **Rene Horvath, Taylor Ranch NA
5515 Palomino Dr. NW
Albuquerque, NM 87120**

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Sent To: **Dave Heil, Volcano Cliffs prop.
Owners Assoc.
160 Itasca Rd.
Rio Rancho, NM 87124**

PS Form 3800, August 2006 See Reverse for Instructions

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Sent To: **Candelaria Patterson, Westside
Coalition of NA's
7608 Elderwood NW
Albuquerque, NM 87120**

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Sent To: Tom Anderson, Paradise Hills Civ
Assoc.
10013 Plunkett Dr. NW
Albuquerque, NM 87114

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Sent To: Maria Warren, Paradise Hills Civic
Assoc.,
5020 Russell NW
Albuquerque, NM 87114

PS Form 3800, August 2006 See Reverse for Instructions

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Total Postage		

Sent To: Steven J. Metro, Petroglyph Estates
Owners Assoc.
4900 Lang Ave. NE
Albuquerque, NM 87109

PS Form 3800, August 2006 See Reverse for Instructions

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Return Receipt Fee (Endorsement Required)		
Restricted Delivery Fee (Endorsement Required)		
Total Postage		

Sent To: Joy Garratt, Ventana Ranch NA
10308 Marin Dr. NW
Albuquerque, NM 87114

PS Form 3800, August 2006 See Reverse for Instructions

CITY OF ALBUQUERQUE

TRAFFIC IMPACT STUDY (TIS) FORM

APPLICANT: CABQ Planning DATE OF REQUEST: 12/23/13 ZONE ATLAS PAGE(S): C8, C9

CURRENT: VTVC VTSL
ZONING SV-2 VTUR VTML
PARCEL SIZE (AC/SQ. FT.) 446 Acres
VTRD RD

LEGAL DESCRIPTION: Volcano Trails Sector Development Phase
LOT OR TRACT # _____ BLOCK # _____
SUBDIVISION NAME _____

REQUESTED CITY ACTION(S):

ANNEXATION ☐ []

ZONE CHANGE ☐ []: From _____ To _____

SECTOR AREA, FAC, COMP PLAN ☒ [X]

AMENDMENT (Map/Text) ☐ []

SITE DEVELOPMENT PLAN:

SUBDIVISION* ☐ [] AMENDMENT ☐ []

BUILDING PERMIT ☐ [] ACCESS PERMIT ☐ []

BUILDING PURPOSES ☐ [] OTHER ☐ []

*includes platting actions

PROPOSED DEVELOPMENT:

NO CONSTRUCTION/DEVELOPMENT ☒ [X]

NEW CONSTRUCTION ☐ []

EXPANSION OF EXISTING DEVELOPMENT ☐ []

GENERAL DESCRIPTION OF ACTION:

OF UNITS: _____

BUILDING SIZE: _____ (sq. ft.)

Note: changes made to development proposals / assumptions, from the information provided above, will result in a new TIS determination.

APPLICANT OR REPRESENTATIVE [Signature]

DATE 12/23/13

(To be signed upon completion of processing by the Traffic Engineer)

Planning Department, Development & Building Services Division, Transportation Development Section -
2ND Floor West, 600 2nd St. NW, Plaza del Sol Building, City, 87102, phone 924-3994

TRAFFIC IMPACT STUDY (TIS) REQUIRED: YES ☐ [] NO ☒ [X] BORDERLINE ☐ []

THRESHOLDS MET? YES ☐ [] NO ☒ [X] MITIGATING REASONS FOR NOT REQUIRING TIS: PREVIOUSLY STUDIED: ☐ []

Notes: TIS MAY BE REQUIRED AT TIME OF DEV.

If a TIS is required: a scoping meeting (as outlined in the development process manual) must be held to define the level of analysis needed and the parameters of the study. **Any subsequent changes to the development proposal identified above may require an update or new TIS.**

[Signature]
TRAFFIC ENGINEER

12-23-13
DATE

Required TIS **must be completed prior to applying to the EPC and/or the DRB.** Arrangements must be made prior to submittal if a variance to this procedure is requested and noted on this form, otherwise the application may not be accepted or deferred if the arrangements are not complied with.

TIS -SUBMITTED / /
-FINALIZED / /

TRAFFIC ENGINEER _____

DATE _____

Revised January 20, 2011

CITY OF ALBUQUERQUE

Planning Department

Suzanne Lubar, Director
600 2nd Street NW – 3rd Floor
Albuquerque, NM 87102



Richard J. Berry, Mayor

December 20, 2013

Dear Property Owners and Neighbors,

The Planning Department will submit text amendments to the **Volcano Trails Sector Development Plan (VTSDP)** to the Environmental Planning Commission this month for the first hearing in the review and approval process in February 2013. You are invited and encouraged to participate in the review process.

As originally intended, the Planning Department returned to all three sector development plans in Volcano Mesa after Volcano Heights was adopted in August 2013 to update the transportation network to be consistent among the three plans, as well as the Rank 2 West Side Strategic Plan Volcano Mesa amendment. In reviewing these plans, other minor items were also identified to be fixed, clarified, and/or adjusted to better meet plan goals.

Proposed Changes

The zoning map designations will not be affected, nor will goals and policies change. The proposed changes include the following items:

- 1) Updating transportation network map and standards to be consistent with Volcano Heights SDP, including adding cross sections and access modifications, Volcano Cliffs SDP, and Special Assessment District 228 to include the full transportation network within Volcano Mesa.
- 2) Fixing the zoning map label for VTRD where it was colored correctly but labeled incorrectly.
- 3) Revising General Standards regarding residential garages and utilities to be consistent with the Volcano Heights SDP.
- 4) Revising General Regulations regarding plant lists, color restrictions, and grading to be consistent with Volcano Heights SDP.

Environmental Planning Commission (EPC) Hearing

The text amendments to the VTSDP, as well as the other Volcano Mesa plans, will be scheduled for an EPC hearing on **Thursday, February 13, 2013** at 8:30 a.m. in the Planning Department Hearing Room, Plaza del Sol, 600 2nd Street NW, Basement Level. Please see the agenda to determine the order cases will be heard or call Madeline Carruthers, EPC Board Secretary at (505)924-3339.

Draft for Review

Text amendments will be prepared as redline drafts, available at the City of Albuquerque Planning Department, 600 2nd Street NW, 3rd Floor from December 27 onward. Electronic versions of the redline draft pages will also be available on the project webpage:

<http://www.cabq.gov/planning/residents/sector-development-plan-updates/volcano-mesa-area-sector-development-plans/volcano-trails-sector/>

Please call the Project Manager, Mikaela Renz-Whitmore, at 505-924-3932 if you need help accessing a copy of the Plan.

Albuquerque - Making History 1706-2006

Opportunities for Review and Comment

The EPC is expected to vote on its recommendation to City Council at the February hearing. You may present comments verbally at the hearings and/or send written comments for inclusion in the file. Once the City Council receives the EPC recommendation, the Plan will move on to City Council, heard first at the Land Use, Planning, and Zoning Committee (LUPZ) and then full City Council.

To be included in the first EPC staff report, please submit your written comments by **Thursday, January 30, 2013.**

Mail: Mikaela Renz-Whitmore, P.O. Box 1293, Albuquerque, NM 87103

Fax: 505-924-3339, Attention: Mikaela Renz-Whitmore

Email: mrenz@cabq.gov

After January 30, you can submit comments for Commissioner review by hand delivering, faxing, or emailing them to the EPC Board Secretary no later than 3:30 p.m. on **Monday, February 10, 2014.**

Hand deliver: Madeline Carruthers, EPC Board Secretary, 600 2nd Street NW, 3rd floor

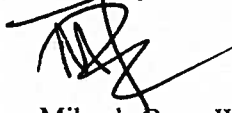
Fax: 505-924-3339, Attention: Madeline Carruthers

Email: mtafoya@cabq.gov

Written comments received after February 10 will be included in the file for consideration at subsequent hearings in the adoption process.

We look forward to your comments and ideas to improve the workability and effective of this Plan to improve the quality of life for existing and future residents while protecting the unique natural and cultural resources of the area.

Sincerely,



Mikaela Renz-Whitmore, Planner

ABMONT JOSEPH C & DENISE M
17435 BLUE JAY DR
MORGAN HILL CA 95037

AGUILAR ANTONIO & MARCY L
AGUILAR
9328 BATTLE CREEK TRL NW
ALBUQUERQUE NM 87114

ALBO ORESTES L JR & PATTY A
7224 HEARTHSTONE RD NW
ALBUQUERQUE NM 87114

ALBO PATTY A
7224 HEARTHSTONE RD NW
ALBUQUERQUE NM 87114

ALBUQUERQUE BERNALILLO COUNTY
WATER UTILITY AUTHORITY
PO BOX 1293
ALBUQUERQUE NM 87103 1293

ALDERETE RAMON M & ANGEL A
7108 HEARTHSTONE RD NW
ALBUQUERQUE NM 87114

ALEXANDER IVORY C & SHIRLEY H
8916 HALLSTON TRL NW
ALBUQUERQUE NM 87114 4576

ALLEN MEKENZIE K & MATTHEW W
9116 MESA PL NW
ALBUQUERQUE NM 87114

ALTER NATHAN & VANESSA
7139 LAS NUTRIAS RD NW
ALBUQUERQUE NM 87114

ANALLA GREGG M & MADRID DE
ANALLA MARGARET
8932 OSO CORRIDOR PL NW
ALBUQUERQUE NM 87114

ANDERSON APRIL
7116 HEARTHSTONE RD NW
ALBUQUERQUE NM 87114

ANDUJO EDDIE VEGA & SHALENE
RENEE
7019 HAWKWATCH RD NW
ALBUQUERQUE NM 87114

ANTEL TIMOTHY S & TERRIE D
7108 LAS NUTRIAS NW
ALBUQUERQUE NM 87114

ARMENDARIZ DOMINIQUE D
7020 TREE LINE AVE NW
ALBUQUERQUE NM 87114

ARMIJO SANDRA
7235 WILLIAMSBURG RD NW
ALBUQUERQUE NM 87120

ARTHUR BRENDON T
7031 TREE LINE AVE NW
ALBUQUERQUE NM 87114 5971

ATENCIO ROBINSON J & GINA P
7215 TREE LINE AVE NW
ALBUQUERQUE NM 87114

AUSTIN KATHY M
9104 MESA PL NW
ALBUQUERQUE NM 87114

AVERY HENRY H
7201 TREE LINE AVE NW
ALBUQUERQUE NM 87114

BACA AMY C
6824 TREE LINE AVE NW
ALBUQUERQUE NM 87114

BACA DAVID R & ROSEMARY T
6919 TIJERAS CREEK RD NW
ALBUQUERQUE NM 87120

BACA JOHNNY H & MARIA A LOPEZ
8935 BALSAM GLADE DR NW
ALBUQUERQUE NM 87114 5985

BACA PABLO VICTOR & ELIZABETH L
9016 MESA PL NW
ALBUQUERQUE NM 87114

BACA VICTOR LEE
9009 MESA PL NW
ALBUQUERQUE NM 87114

BAGLEY CHRISTOPHER G & MELISSA K
3805 LAS COLINAS AVE NE
RIO RANCHO NM 87124

BAID CHANDRA P
33017 CALISTOGA ST
UNION CITY CA 94587

BAKER GREGORY D
19201 DEE LN
CANYON TX 79015

BANKS ALLEN J & TAMARA D
7315 HEARTHSTONE RD NW
ALBUQUERQUE NM 87114-

BARRIE JON ROSS
7316 WILLIAMSBERG RD NW
ALBUQUERQUE NM 87114 4556

BAYLES TROY E SR
7035 KAYSER MILL RD NW
ALBUQUERQUE NM 87114

BEAUCHEMIN CARMEN R
6736 TREELINE AVE NW
ALBUQUERQUE NM 87114

BEGAY LAVINA
8915 BALSAM GLADE RD NW
ALBUQUERQUE NM 87114

BENAVIDEZ CATHERINE
9115 RIO GALISTEO PL NW
ALBUQUERQUE NM 87114

BENAVIDEZ GERALD P SR & MARY
TRINNIE
7104 GLYNDON TRL NW
ALBUQUERQUE NM 87114

BENAVIDEZ LEEANN
1138 NORTH 198TH ST
SHORELINE WA 98123

BENAVIDEZ LEEROSS
7112 ALAMILLO RD NW
ALBUQUERQUE NM 87114

BERNAL-PEREZ ALETHEA & PEREZ
DAVID JR
9100 MESA PL NW
ALBUQUERQUE NM 87114

BERNARD DARYL SR
7008 KAYSER MILL RD NW
ALBUQUERQUE NM 87114

BILLIAN JAMES S
9308 NATIONWIDE ST NW
ALBUQUERQUE NM 87114

BINDRA RUPINDER S & GURPREET K &
MONTTOYA ERNEST P TRUSTEE
MONTTOYA RVT
550 SOUTH HILL ST SUITE 1085
LOS ANGELES CA 90013

BLACK GRANT E & ANNE MARIE
5800 CAMBRIA RD NW
ALBUQUERQUE NM 87120

BLAKELY ROBERT
1900 EAST CARY ST APT 208
RICHMOND VA 23223

BLAS ROKE B & MARIA S
6800 TREELINE AVE NW
ALBUQUERQUE NM 87114

BLASCHKE JARED P & CHRISTI A
9143 RIO GALISTEO PL NW
ALBUQUERQUE NM 87114

BOARD OF EDUCATION
PO BOX 25704
ALBUQUERQUE NM 87125 0704

BOGDAN GARY L
7243 TREE LINE DR NW
ALBUQUERQUE NM 87114

BOGUE RYAN C & TRACY L
7135 CROSSWINDS TRL NW
ALBUQUERQUE NM 87114

BORREGO DIEGO D & YVONNE K
8928 HALLSTON TRL NW
ALBUQUERQUE NM 87114

BOTTONE EUGENIO
1409 MANCHESTER RD
SAN MINAS CA 91773

BOUNDS LINDSAY & AARON
9101 NUEVA SEVILLA ST NW
ALBUQUERQUE NM 87114

BOURGEOIS JANE L
7001 TIJERAS CREEK RD NW
ALBUQUERQUE NM 87114

BOURGEOIS TODD AUSTIN TRUST
136 MOLLIE CIR
CLOVIS NM 88101 9546

BOWERS DARRELL C & PETRA H CO-
TRUSTEES BOWERS RVT
P.O. BOX 67352
ALBUQUERQUE NM 87193

BOWERS KRISTEN R
6924 CANYON CLIFF RD NW
ALBUQUERQUE NM 87114

BOWLES ADAM P
8909 BALSAM GLADE RD NW
ALBUQUERQUE NM 87114

BRACY BRIAN L & CRYSTAL L
9303 BATTLE CREEK TRL NW
ALBUQUERQUE NM 87114

BRAMLETT JEFF
9009 RIO GALISTEO PL NW
ALBUQUERQUE NM 87114

BROWN CAROLEE M & CHERYL A
BROWN
9316 NATIONWIDE ST
ALBUQUERQUE NM 87120

BRUHN DAVID & IVY M
8947 SHELBURNE WAY
ZIONSVILLE IN 46077

BRYAN CHERYL C
PO BOX 66453
ALBUQUERQUE NM 87193 6453

BUCKNER BRANDON L & JESSICA D
7112 CROSSWINDS TRL NW
ALBUQUERQUE NM 87114

BUNCH ROBBY & KATHLENE
7124 LAS NUTRIAS RD NW
ALBUQUERQUE NM 87114

BUNZEL BRIAN & ELIZABETH
6916 TREE LINE AVE NW
ALBUQUERQUE NM 87114

BURTON PATRICK D
7211 JALISCO RD NW
ALBUQUERQUE NM 87114

BUSH ANNYA
3813 CALLE TIBURON
SAN CLEMENTE CA 92672

BUSSEY JEFF S
9024 RIO GALLISTEO PL NW
ALBUQUERQUE NM 87114

CALABRO RICHARD C
7000 KAYSER MILL RD NW
ALBUQUERQUE NM 87114

CALDERON JUAN M & MERCEDES J
9320 BATTLE CREEK ST NW
ALBUQUERQUE NM 87114

CAMPBELL MATTHEW L
7012 HAWKWATCH RD NW
ALBUQUERQUE NM 87114

CANDELARIA ELOY JR
6919 HAWKWATCH RD NW
ALBUQUERQUE NM 87114

CAPRON ALAN
PO BOX 18063
ALBUQUERQUE NM 87185

CARR RONALD W & DEBORAH A
7115 TREE LINE AVE NW
ALBUQUERQUE NM 87114

CARRUTHERS CONSTANCE J
10104 CALLE BELLA NW
ALBUQUERQUE NM 87114

CASTRO PEDRO & PATRICIA A
9116 SABINAL DR NW
ALBUQUERQUE NM 87114

CENTEX HOMES
7601 JEFFERSON ST NE SUITE 320
ALBUQUERQUE NM 87109

CERTAIN JUAN CARLOS & SHUYAMA
CATHERINE YUKIE % AL KASIR ABDUL W
7320 TOME CT NW
ALBUQUERQUE NM 87114

CHAMBERS TYRONE L
7024 TREE LINE AVE NW
ALBUQUERQUE NM 87114

CHAN PAUL & CHING LUN
6N271 ROBERT CT NW
MEDINAH IL 60157

CHANEY RONALD M
417 SOUTH ASSOCIATED RD
BREA CA 92821

CHAVEZ ANDREW
9309 JAMESON ST NW
ALBUQUERQUE NM 87114

CHAVEZ MATTHEW L & PAULINE
7232 WILLIAMSBURG RD NW
ALBUQUERQUE NM 87114

CHAVEZ PAUL E & MONICA M
9319 JAMESON ST NW
ALBUQUERQUE NM 87121

CHINTAWAT SATIT B
9911 PASEO MONTIL
SAN DIEGO CA 92129

CHINTAWAT SATIT B
9911 PASEO MONTRIL
SAN DIEGO CA 92129

CICCONETTI JOSEPH
9019 OLD MILL ST NW
ALBUQUERQUE NM 87114

CITY OF ALBUQUERQUE
PO BOX 1293
ALBUQUERQUE NM 87103

CITY OF ALBUQUERQUE
PO BOX 2248
ALBUQUERQUE NM 87103 2248

CLARK JIMMY D
7101 EDISON RD NW
ALBUQUERQUE NM 87114

CML-NM ONE LLC
700 NW 107 AVE SUITE 200
MIAMI FL 33172

COCHRAN JEFFREY C
7219 TEYPANA RD NW
ALBUQUERQUE NM 87114 4560

COGDILL ANN M AUBREY L
7301 TOME CT NW
ALBUQUERQUE NM 87114

COLEMAN LINDA S & EDWARD
7220 TREE LINE AVE NW
ALBUQUERQUE NM 87114

CONKLIN RYAN E & BRANDI L
7220 HEARTHSTONE RD NW
ALBUQUERQUE NM 87114

CONNER LUCAS JAMES
7016 TIJERAS CREEK RD NW
ALBUQUERQUE NM 87114

COPELAND STEPHEN GEORGE & LINDA
A
7004 CANYON CLIFF RD NW
ALBUQUERQUE NM 87114

CORDERO SIMON
7211 TREELINE AVE NW
ALBUQUERQUE NM 87114

CORDOVA DEBRA & JAMES R PERRI
7016 CANYON CLIFF RD NW B
ALBUQUERQUE NM 87114

COSMAN MARK GOODRICH TRUSTEE
COSMAN TRUST
9305 JAMESON ST NW
ALBUQUERQUE NM 87114

COTTRELL DALE & DAWN
9132 LADRON DR NW
ALBUQUERQUE NM 87114

CPB CHURCH OF JESUS CHRIST OF
LATTERDAY SAINTS
50 EAST NORTH TEMPLE ST
SALT LAKE CITY UT 84105

CRAWFORD ADAM C & HALEY P
9005 MESA PL NW
ALBUQUERQUE NM 87114

CROSS REBECCA J
6928 CANYON CLIFF RD NW
ALBUQUERQUE NM 87114

CRUZ PATSY
7112 LAS NUTRIAS NW
ALBUQUERQUE NM 87114

CURRAN JODY R & MELANIE W
7148 TREE LINE AVE NW
ALBUQUERQUE NM 87114

D R HORTON INC
4400 ALAMEDA BLVD NE SUITE B
ALBUQUERQUE NM 87113

D R HORTON INC ATTN: TAMERA
JENSEN/CONTROLLER
4400 ALAMEDA BLVD NE SUITE B
ALBUQUERQUE NM 87113

DANDERSON MANDY R
7232 JALISCO RD NW
ALBUQUERQUE NM 87114

DARVASI ARIEL
29-3 HABOSSEM ST
90805 ISRAEL

DAVIDSON THOMAS E JR & LOIS B
9315 NATAIONWIDE ST NW
ALBUQUERQUE NM 87114

DAVILA JOSEPH R III & NIDIA I
9000 LADRON DR NW
ALBUQUERQUE NM 87114

DAVISON JEREMY J
6936 TIJERAS CREEK RD NW
ALBUQUERQUE NM 87114

DEAN NEIL & R DI LEEN BASS-DEAN
9305 NATIONWIDE ST NW
ALBUQUERQUE NM 87120

DEATHERAGE AMY F
8932 HALLSTON TRL NW
ALBUQUERQUE NM 87114 4576

DECUNAE JANUS J & HELGA L GLADIK
7005 HAWKWATCH RD NW
ALBUQUERQUE NM 87114

DEERINWATER GEORGE & CELESTE
7428 PRIMROSE DR NW
ALBUQUERQUE NM 87120

DEFABIO TRACY & BEASLEY PATRICK
9009 OLD MILL ST NW
ALBUQUERQUE NM 87114

DELEON DANIEL & CONTRERAS
ALEJANDRO
7135 EDISON RD NW
ALBUQUERQUE NM 87114

DELEON DIANNE
9328 ALLEGIANCE ST NW
ALBUQUERQUE NM 87114

DEMNY PATRICIA
7151 GLYNDON TRL NW
ALBUQUERQUE NM 87114

DESANTIS CHRISTOPHER F
7204 TEYPANA RD NW
ALBUQUERQUE NM 87114

DILLEHAYES STEPHEN & ANAMARIE
7028 HAWKWATCH RD NW
ALBUQUERQUE NM 87114 5983

DIVETT SAMUEL & ROCHELLE
7219 TREE LINE AVE NW
ALBUQUERQUE NM 87114

DOBBS STEVEN DWAYNE & LESLEY
7024 KAYSER MILL RD NW
ALBUQUERQUE NM 87114

DOMINGUEZ BENNY R & DONNA L
6916 TIJERAS CREEK RD NW
ALBUQUERQUE NM 87114

DOMINGUEZ ROLAND A
9112 JARALES CT NW
ALBUQUERQUE NM 87114

DONG LAM
34288 PINNACLES DR
UNION CITY CA 94587

DOUGHTY DANIEL H & CHRISTINE L
139 BIG HORN RIDGE RD NE
ALBUQUERQUE NM 87122

DOUGHTY RANDOLPH MATTHEW &
CARRIANNE
9305 BATTLE CREEK ST NW
ALBUQUERQUE NM 87114

DOW-SIMPSON EVELYN & IVAN G
7315 TOME CT NW
ALBUQUERQUE NM 87114

DRACKERT EMANUEL F & DORIS S
7219 WILLIAMSBURG RD NW
ALBUQUERQUE NM 87114

DUNCAN GARY L & VALERIO DUNCAN
VALERIE
6804 TREELINE AVE NW
ALBUQUERQUE NM 87114

DURAN JOHN PAUL & MARIE E
9311 BATTLE CREEK ST NW
ALBUQUERQUE NM 87114

ECHAVARRIA SAUL & BACHMAN
PARVEEN
9015 OLD MILL ST NW
ALBUQUERQUE NM 87114

EK REBECCA N & WILLIAM
7143 GLYNDON TRL NW
ALBUQUERQUE NM 87114

ELLISON SHIRLEY A
9312 BATTLE CREEK TRL NW
ALBUQUERQUE NM 87114

ENNIS MERLIN M & DOROTHY R
9001 CORONA AVE NE
ALBUQUERQUE NM 87122

FEDERAL HOME LOAN MORTGAGE
CORP
8200 JONES BRANCH DR
MC LEAN VA 22102

FELLOWS MONIQUE N
7300 WILLIAMSBURG RD NW
ALBUQUERQUE NM 87114

FERNANDEZ SELSO & ANNA
7101 CROSSWINDS TRL NW
ALBUQUERQUE NM 87114

FEROZE HAMID & AMNA & FEROZE
ABDULLAH H & FEROZE HAMZA H &
FEROZE ZAINAB H
400 W VISTA PKWY
ROSWELL NM 88201

FERRINI REBECCA L & JEFFERY L KLEIN
10344 SPRUCE GROVE AVE
SAN DIEGO CA 92131

FIELDS CHARLENE M
6812 TREE LINE AVE NW
ALBUQUERQUE NM 87114

FILUTZE TIMOTHY J & VICKIE J
7140 GLYNDON TRL NW
ALBUQUERQUE NM 87114

FISHER TINA R & JACKIE W
7127 CROSSWINDS TRL NW
ALBUQUERQUE NM 87114

FLEISCHER JON & REMELY
PO BOX 67346
ALBUQUERQUE NM 87193

FONTES RAQUEL
7312 TEYPANA RD NW
ALBUQUERQUE NM 87114

FORTUS MARY TRUSTEE EARLE & MARY
FORTUS REV FAMILY TRUST
111 N PASADENA AVE NW
GLEN DORA CA 91741

FOSSA BRIAN L
8904 OSO CORRIDOR PL NW
ALBUQUERQUE NM 87114

FOX DENNIS R & SANDRA J
6415 SANTO DOMINGO ST NW
ALBUQUERQUE NM 87120

FOX DENNIS R & SANDRA J
7024 HAWKWATCH RD NW
ALBUQUERQUE NM 87114

FREYENHAGEN JOEL & BECKY
9312 NATIONWIDE ST NW
ALBUQUERQUE NM 87114

FULGENZI DENNIS
954 DURUM CT
WINDSOR CO 80550

GALINDO RICARDO A JR & LISA M
7108 GLYNDON TRL NW
ALBUQUERQUE NM 87114

GALLEGOS CHRISTOPHER DEAN &
GALLEGOS CINDY M CORRIZ
7023 TREE LINE AVE NW
ALBUQUERQUE NM 87114

GALVAN LORENA
7335 WILLIAMSBURG RD NE
ALBUQUERQUE NM 87114

GANJAWALA TEJAS & AMISHA
7019 KAYSER MILL RD NW
ALBUQUERQUE NM 87114

GARCIA CHAD M & BROOKS JENNIFER J
9108 JARALES CT NW
ALBUQUERQUE NM 87114

GARCIA JOSE A III & GARCIA VALERIE A
6315 MICHELANGELO LN NW
ALBUQUERQUE NM 87114 5017

GARCIA PHILLIP D & STEPHANIE R
7211 TEYPANA RD NW
ALBUQUERQUE NM 87114

GARCIA RAY LOGAN
9108 SABINAL DR NW
ALBUQUERQUE NM 87114

GARVER PHILLIP D & QUENDY L
9100 SABINAL DR NW
ALBUQUERQUE NM 87114

GAYLOR SUSAN C
6901 TIJERAS CREEK RD NW
ALBUQUERQUE NM 87114

GENTILE STANLEY & BETTY
7115 GLYNDON TRL NW
ALBUQUERQUE NM 87114

GILBERT ANTHONY & EVELYN SETH
972 DAISY ST
SAN MATEO CA 94401

GILES ERIC S & MICHELLE D
7305 TREE LINE NW
ALBUQUERQUE NM 87114

GO GEORGIANA C
8920 OSO CORRIDOR PL NW
ALBUQUERQUE NM 87114

GOFF ELIZABETH K
7135 GLYNDON TRL NW
ALBUQUERQUE NM 87114

GOLDEN ROBERT J & LINDA L
7131 CROSSWINDS TRL NW
ALBUQUERQUE NM 87114

GOLOVERSIK TIMOTHY E & CARMEN M
7160 TREE LINE AVE NW
ALBUQUERQUE NM 87114

GONDEK CAROLYN A
7124 TREE LINE AVE NW
ALBUQUERQUE NM 87114

GONZALES APRIL D
7128 CROSSWINDS TRL NW
ALBUQUERQUE NM 87114

GONZALES MICHAEL D & PATRICIA
205 DUNDEE WAY
RIO RANCHO NM 87124

GONZALES THOMAS & SYLVIA
GONZALES
7127 CUCHILLO RD NW
ALBUQUERQUE NM 87114

GONZALEZ CESAR ALEJANDRO &
JENNIFER S
7136 CUCHILLO RD NW
ALBUQUERQUE NM 87114

GONZALEZ JOSE A & EVELYN P
9012 LADRON DR NW
ALBUQUERQUE NM 87114

GONZALEZ MARCO A & MARIA G
7116 LAS NUTRIAS RD NW
ALBUQUERQUE NM 87114

GORDON MICHAEL S & TAMARA R
9309 ALLEGIANCE ST NW
ALBUQUERQUE NM 87114

GREEN DAVID W & BARBARA A
9309 BATTLE CREEK TRL NW
ALBUQUERQUE NM 87114 5318

GREENWOOD AARON JOHN & SUSAN L
ISLEY
9327 BATTLE CREEK ST NW
ALBUQUERQUE NM 87114

GREGORY CHANG-HUN P & ELENA
EUN-YOUNG CHAI
7147 CROSSWINDS TRL NW
ALBUQUERQUE NM 87114

GREGORY JACKIE
6920 KAYSER MILL RD NW
ALBUQUERQUE NM 87114

GRIEVE STEVE D & LAURA C
7239 JALISCO RD NW
ALBUQUERQUE NM 87114

GRIMSHAW CHAD P & KELLY L
7156 TREE LINE AVE NW
ALBUQUERQUE NM 87114

GROSSETETE VICTOR A JR
7027 CANYON CLIFF RD NW
ALBUQUERQUE NM 87114

GUEVARA ELDER O
9320 WEST HAVEN ST NW
ALBUQUERQUE NM 87114

GUEVARRA MARWIN R & TEILANI S
7139 CROSSWINDS TRL NW
ALBUQUERQUE NM 87114

GURULE PAUL C
7227 JALISCO RD NW
ALBUQUERQUE NM 87114

GURUNG SANDHYA & SHREE P
7012 KAYSER MILL RD NW
ALBUQUERQUE NM 87114

GURUNG SHIELA
5535 MANSFIELD PL NW
ALBUQUERQUE NM 87114

GUTIERREZ ALBERT T & HOA
11450 ERIDANUS CT
SAN DIEGO CA 92126

GUTIERREZ MICHAEL L & LISA M
7009 HAWKWATCH RD NW
ALBUQUERQUE NM 87114

HADGU TEKLU & TEFAY DORIT S
9119 LADRON DR NW
ALBUQUERQUE NM 87114

HAGAN TOM & FAWN R DOLAN
PO BOX 2033
CORRALES NM 87048

HAMBRIGHT JOHN F III & ANDREA M
7155 TREE LINE AVE NW
ALBUQUERQUE NM 87114

HAMBURGER AARON D & CHRISTA L
273 CIELO AZUL
ALBUQUERQUE NM 87193

HAMPTON ROBERT
7120 CUCHILLO RD NW
ALBUQUERQUE NM 87114 5927

HARDY MICHAEL & VERONICA
MUNROE-HARDY
7108 ALAMILLO RD NW
ALBUQUERQUE NM 87114

HARRIS GREGORY L
7215 JALISCO RD NW
ALBUQUERQUE NM 87114

HARRIS ROBERT B & LAVONNE N
7300 HEARTHSTONE RD NW
ALBUQUERQUE NM 87114

HARRIS STANLEY N & STEPHANIE H
7119 CROSSWINDS TRL NW
ALBUQUERQUE NM 87114

HASENSTAB MICHAEL L & BARBARA
9304 NATIONWIDE ST NW
ALBUQUERQUE NM 87114

HAUCK DANIEL & MELISSA
9319 ALLEGIANCE ST NW
ALBUQUERQUE NM 87114

HAUF MARIA FE Z
9132 SABINAL DR NW
ALBUQUERQUE NM 87120

HAYES MICHAEL T & JEAN M
7323 WILLIAMSBURG RD NW
ALBUQUERQUE NM 87114 4555

HECHAVARRIA RAFAEL & VERONICA E
6909 KAYSER MILL RD NW
ALBUQUERQUE NM 87114

HECKEL VALERIE K
6936 CANYON CLIFF RD NW
ALBUQUERQUE NM 87114

HECTOR JAMES
7020 KAYSER MILL RD NW
ALBUQUERQUE NM 87114

HECTOR ROBERT JR & BUNN-HECTOR
JEANA D
9144 RIO GALISTEO PL NW
ALBUQUERQUE NM 87114

HEEREN ROBERT G
7108 TREE LINE AVE NW
ALBUQUERQUE NM 87114

HELLER MICHAEL
7331 WILLIAMSBURG RD NW
ALBUQUERQUE NM 87114

HEPWORTH JERRY DWAYNE II &
BRITTANY M
9112 OLD MILL ST NW
ALBUQUERQUE NM 87114

HERNANDEZ KENNETH L & KATHARINE
A
9144 SABINAL DR NW
ALBUQUERQUE NM 87114

HERNANDEZ RICHARD S & KYONG H
7120 LAS NUTRIAS NW
ALBUQUERQUE NM 87114 5922

HERNSTED JULIE
9328 WEST HAVEN ST NW
ALBUQUERQUE NM 87120

HERRERA RECECCA A
7143 LAS NUTRIAS RD NW B
ALBUQUERQUE NM 87114

HICKS FELICIA J
7009 CANYON CLIFF RD NW
ALBUQUERQUE NM 87114

HIDEYOSHI COE & TAYLOR SHELLY J
6932 TREE LINE AVE NW
ALBUQUERQUE NM 87114

HIGH VISIONS LIMITED PARTNERSHIP
6923 KAYSER MILL NW
ALBUQUERQUE NM 87114

HINDMAN MICHAEL JAMES
9104 OLD MILL ST NW
ALBUQUERQUE NM 87114

HINOJOSA GREGORY & FELICIA A
7104 HEARTHSTONE RD NW
ALBUQUERQUE NM 87114

HODOVANCE JOHN C & ROSALIND H
7151 TREE LINE AVE NW
ALBUQUERQUE NM 87114

HOLLER JENNIFER M
8915 WINNCREST TRL NW
ALBUQUERQUE NM 87114

HOSAFLOOK JOHN J & LINDSAY
6932 CAYON CLIFF RD NW
ALBUQUERQUE NM 87114

HOU HONG & LIU PEI
7112 TREE LINE AVE NW
ALBUQUERQUE NM 87114

HOIRIGAN NICOLE L & AARON K
8943 BALSAM GLADE RD NW
ALBUQUERQUE NM 87114

HOWARD DONALD HERBERT &
MARGARET BRUCE HOWARD TRUSTEES
HOWARD FAMILY TRUST
7115 CROSSWINDS TRL NW
ALBUQUERQUE NM 87114

HOWARD JOHN W & HEATHER A
7100 GLYNDON TRL NW
ALBUQUERQUE NM 87114

HOWIE DANIEL
9311 ALLEGIANCE ST NW
ALBUQUERQUE NM 87114

HUCKABAY AMY L & DELBERT
9035 RIO GALISTEO PL NW
ALBUQUERQUE NM 87114

HUEZO MARIA L & CESAR A
9324 WEST HAVEN ST NW
ALBUQUERQUE NM 87114 4550

HUGHES LAWRENCE MAX & ELIZABETH
ANN GONZALES-HUGHES
7227 WILLIAMSBURG RD NW
ALBUQUERQUE NM 87120

HUMPHRIES DANTON B PSC 9
BOX 2332
APO AE 09123

HWANG RONG-JEN & MINGCHING H
7239 TEYPANA RD NW
ALBUQUERQUE NM 87114

IBARRA PRISCILLA
7144 TREE LINE AVE NW
ALBUQUERQUE NM 87114

IRWIN BRIAN R & ALICIA R
7144 LAS NUTRIAS RD NW
ALBUQUERQUE NM 87114

JAMES CASSANDRA LYNN
7012 CANYON CLIFF RD NW
ALBUQUERQUE NM 87114

JAKUA KEVIN E & CAROL A
7139 TREE LINE AVE NW
ALBUQUERQUE NM 87114

JARAMILLO ANDREW R & GERALDINE
7304 TEYPANA RD NW
ALBUQUERQUE NM 87114

JARAMILLO LARRY T & FRANCES
TAYLOR
7119 LAS NUTRIAS RD NW
ALBUQUERQUE NM 87114

JARAMILLO MICHAEL A & CINDY J
8924 HALLSTON TRL
ALBUQUERQUE NM 87114

JARAMILLO RUDY E & MEREDITH C M
9323 NATIONWIDE ST NW
ALBUQUERQUE NM 87120

JARRETT DANIEL J
9031 RIO GALISTEO PL NW
ALBUQUERQUE NM 87114

JENSON TERRY O & DENISE
7115 ALAMILLO RD NW
ALBUQUERQUE NM 87114

JETER STEVEN M & CHRISTINA J
7212 JALISCO RD NW
ALBUQUERQUE NM 87114

JIM DARRELL & LAWANDA
7216 JALISCO RD NW
ALBUQUERQUE NM 87114

JOHNSON-NETTLES CAROLE H &
CHRISTOPHER P NETTLES
7119 ALAMILLO RD NW
ALBUQUERQUE NM 87114

JOHNSON JOHN ANDREW & LISA
7123 EDISON RD NW
ALBUQUERQUE NM 87114

JOHNSTON GLEN L & DIANA L
19429 SEA ISLAND DR
PFLUGERVILLE TX 78660

JONES BRADLEY R & SABRINA
7004 HAWKWATCH RD NW
ALBUQUERQUE NM 87114

JONES DEBRA L
6919 TREE LINE AVE NW
ALBUQUERQUE NM 87114

JORGENSEN AARON & CHELSEY
7323 HEARTHSTONE RD NW
ALBUQUERQUE NM 87114

JPMORGAN CHASE BANK
780 DELTA DR
MONROE LA 71203

K VENTURES LLC
390 OXFORD AVE
PALO ALTO CA 94306

KAMAL MOHAMMAD R
15242 WINESPRINGS CT
SAN DIEGO CA 92127 3720

KEMP MICHAEL D
6935 CANYON CLIFF RD NW
ALBUQUERQUE NM 87114

KEMSLEY SHAY
9101 GALLISTEO PL NW
ALBUQUERQUE NM 87114

KENNEDY JOSEPH T & JULIET C
TRUSTEES KENNEDY RVT
1087 MAXEY DR
SAN JOSE CA 95132

KERESTES JOHN W & JEANENE A
6928 KAYSER MILL RD NW
ALBUQUERQUE NM 87114

KHIMJI RISHMA
7027 HAWKWATCH RD NW
ALBUQUERQUE NM 87121

KHUU NGUYET & PHAM JOHNNY
9100 LADRON DR NW
ALBUQUERQUE NM 87114 5931

KREPFL MICHAEL J & SHELLEY R
8919 WINNCREST TRL NW
ALBUQUERQUE NM 87114

KRUEGER-UHING CINDI K
7105 EDISON RD NW
ALBUQUERQUE NM 87114

LA ROSSA MARIO A
7124 GLYNDON TRL NW
ALBUQUERQUE NM 87114

LANDGRAF WILLIAM
PO BOX 95281
ALBUQUERQUE NM 87199

LAW DAKKI WINGSZE TRUSTEE ADIT
TRUST
6162 SPRING MOUNTAIN RD
LAS VEGAS NV 89146

LE CHARLES PHUC
1671 HONEYSUCKLE DR
SAN JOSE CA 95127

LEBARON RYAN CRAIG & JENNIFER
LYNN
6920 TREE LINE AVE NW
ALBUQUERQUE NM 87114

LEE BYUNG H & MYUNG S TRUSTEES
LEE RVT
7228 TREE LINE AVE NW
ALBUQUERQUE NM 87114

LEE CELESTE
7128 GLYNDON TRL NW
ALBUQUERQUE NM 87121

LEE IRWIN
4801 TAMPICO WAY
SAN JOSE CA 95118

LEE TOM S & AMY G
34381 GRAND CANYON DR NW
UNION CITY CA 94587

LEHMAN RUDOLPH H & ELVA C SUITE
105-485
5838 W OLIVE AVE
GLENDALE AZ 85302 3142

LENTZ WALLACE W
7301 HEARTHSTONE RD NW
ALBUQUERQUE NM 87114

LESTER STEPHEN F & L STEPHANIE WU
TRUSTEES LESTER FAMILY TRUST &
ETAL
5295 WINIFREED DR
CASTRO VALLEY CA 94546

LEWANDOWSKI KAMIL
7135 TREE LINE AVE NW
ALBUQUERQUE NM 87114

LEWIS RONALD & MAGAN
7215 WILLIAMSBURG RD NW
ALBUQUERQUE NM 87114

LEWIS SHANE T & CARA M
7000 TIJERAS CREEK RD NW
ALBUQUERQUE NM 87114

LILLY VINSON P & LISA M
8909 OSO CORRIDOR PL NW
ALBUQUERQUE NM 87114

LINTHICUM TROIES D & DEANNA M
9140 RIO GALISTEO PL NW
ALBUQUERQUE NM 87114

LIU JOSEPHINE
8908 OSO CORRIDOR PL NW
ALBUQUERQUE NM 87114

LO LAWRENCE
3138 WATERS WAY
SUGAR LAND TX 77478

LOPEZ AGGIE LEIGH
7243 TEYPANA RD NW
ALBUQUERQUE NM 87114

LOPEZ ALFRED S & SUSAN B
7009 KAYSER MILL RD NW
ALBUQUERQUE NM 87114

LOPEZ MICHAEL M & OGAZ SUZANNE C
7319 WILLIAMSBURG RD NW
ALBUQUERQUE NM 87114 4555

LOPEZ RANDY
6923 TIJERAS CREEK RD NW
ALBUQUERQUE NM 87114

LOVATO MONICA A & LUNA MANUEL C
6928 TIJERAS CREEK RD NW
ALBUQUERQUE NM 87114 6142

LOVATO NICK & CALLIE D
7132 CUCHILLO RD NW
ALBUQUERQUE NM 87114

LOVATO RUDY M & CARLA L
7112 HEARTHSTONE RD NW
ALBUQUERQUE NM 87114

LOVE DAMON A & LORENA G
7308 WILLIAMSBURG RD NW
ALBUQUERQUE NM 87114

LU LIYUE
7008 TREE LINE AVE NW
ALBUQUERQUE NM 87114

LUCERO JOHN A & TAMMY
7201 WILLIAMSBURG RD NW
ALBUQUERQUE NM 87114

LUCERO ROBERT & JUANITA M
7136 GLYNDON TRL NW
ALBUQUERQUE NM 87114

LUCERO RONALD & PINO MICHELLE
8927 BALSAM GLADE RD NW
ALBUQUERQUE NM 87114

LUCERO RYAN T
7219 JALISCO RD NW
ALBUQUERQUE NM 87114

LUCERO SHANE E
7031 KAYSER MILL RD NW
ALBUQUERQUE NM 87114

LUJAN BERNARD & CAROLYN R
MARKLAND
9312 WEST HAVEN ST NW
ALBUQUERQUE NM 87120

MACIAS NESTOR S
7015 TIJERAS CREEK RD NW
ALBUQUERQUE NM 87114

MAESTAS RAMON & LUCERO ROBERTA
7143 CROSSWINDS TRL NW
ALBUQUERQUE NM 87114

MAESTAS STEVE J & MAESTAS STEVE M
6931 KAYSER MILL RD NW
ALBUQUERQUE NM 87114

MAJITHIA NARESH & VINA
746 MEADOW LAKE RD
LOS LUNAS NM 87031 8077

MANISH POUDEL & POUDEL MADAN R
& SEETA
7240 TREE LINE AVE NW
ALBUQUERQUE NM 87114

MARES LAWRENCE M & ANNA A
9316 WEST HAVEN ST NW
ALBUQUERQUE NM 87120

MARQUEZ CHARLIE G
7229 HAPSBURG RD NE
RIO RANCHO NM 87144

MARQUEZ HECTOR H JR
7005 CANYON CLIFF RD NW
ALBUQUERQUE NM 87114

MARQUEZ JOHN P & CHAVEZ STEVE
7120 HEARTHSTONE RD NW
ALBUQUERQUE NM 87114

MARQUEZ JOSEFITA T
8209 CALLE ENSUENO NW
ALBUQUERQUE NM 87120

MARTIN TIM A & SYLVIA F &
VANWEART JENNIE ANN
7016 KAYSER MILL RD NW
ALBUQUERQUE NM 87114

MARTINEZ DAMON G & BARBARA A
6932 HAWKWATCH RD NW
ALBUQUERQUE NM 87120

MARTINEZ ESTEVAN
7312 TOME CT NW
ALBUQUERQUE NM 87114

MARTINEZ JOANA M
7216 TEYPANA RD NW
ALBUQUERQUE NM 87114

MARTINEZ LORRAINE B
7235 JALISCO RD NW
ALBUQUERQUE NM 87114

MARTINEZ MICHAEL A
9109 OLD MILL ST NW
ALBUQUERQUE NM 87114

MARTINEZ SANDRA C
7239 HEARTHSTONE RD NW
ALBUQUERQUE NM 87114 4585

MARTINEZ SANDRA J
9304 ALLEGIANCE ST NW
ALBUQUERQUE NM 87114

MARTINEZ VERONICA M
9131 RIO GALISTEO PL NW
ALBUQUERQUE NM 87114

MASCARENAS ANGEL
7019 CANYON CLIFF RD NW
ALBUQUERQUE NM 87114

MASCARENAS LEONARD & PAULA
9016 LADRON DR NW
ALBUQUERQUE NM 87114

MATA ROLDAN A
6900 TREE LINE AVE NW
ALBUQUERQUE NM 87114

MATHER NEAL F & SUSAN Y
9028 RIO GALISTEO PL NW
ALBUQUERQUE NM 87114

MAXWELL DANNY L & ABIGAIL T
7205 WILLIAMSBURG RD NW
ALBUQUERQUE NM 87114

MCCAMEY JESSE & JENNIFER G
PO BOX 1378
NORTH FORK CA 93643

MCCARTY PATRICK & AMY
773 CALLE DE BLAS
CORRALES NM 87048

MCCOY ANDREW S & ELISABETH P
7123 CROSSWINDS TRL NW
ALBUQUERQUE NM 87114

MCCOY SONYA
7315 WILLIAMSBURG RD NW
ALBUQUERQUE NM 87114

MCDANIEL JOHN & TAJUANA C
9301 BATTLE CREEK ST NW
ALBUQUERQUE NM 87114

MCDONALD KEVIN C & JENNIFER L
8901 BALSAM GLADE RD NW
ALBUQUERQUE NM 87114

MCGOWAN MICHAEL J & JESSICA S
7000 CANYON CLIFF RD NW
ALBUQUERQUE NM 87114

MCGUIRE MATTHEW L & KNAACK
JUSTIN M
6941 WHITE PINE PL NE
ALBUQUERQUE NM 87109

MCKINLEY JEFFREY S & KRISTEN B
6908 TREE LINE AVE NW
ALBUQUERQUE NM 87114

MCMANUS MARY E
7116 TREE LINE AVE NW
ALBUQUERQUE NM 87114

MCNEELY JAMES F & JEANETTE M
9324 BATTLE CREEK ST NW
ALBUQUERQUE NM 87114

MCQUEEN MARCAN A & MICHEL J
7108 CROSSWINDS TRL NW
ALBUQUERQUE NM 87114

MELTON JOHN
7024 CANYON CLIFF RD NW
ALBUQUERQUE NM 87114

MENDOZA ERNEST & SANDRA LONG-
MENDOZA
7232 SENECA RD NW
ALBUQUERQUE NM 87114

MERRIAM-LEITH CHRIS & VICTORIA
8936 OSO CORRIDOR PL NW
ALBUQUERQUE NM 87114

MESKE DUANE D & ANGELA C
7327 WILLIAMSBURG RD NW
ALBUQUERQUE NM 87114

MEZA ROBERT & GUTIERREZ GABRIELLE
8440 RIO VERDE PL NW
ALBUQUERQUE NM 87120

MILLER ALAN
PO BOX 67264
ALBUQUERQUE NM 87193

MILLER ALAN & VICKI
PO BOX 67264
ALBUQUERQUE NM 87123

MILLER ALAN & VICKI
PO BOX 67264
ALBUQUERQUE NM 87193

MILLER STEVEN A
6905 TIJERAS CREEK RD NW
ALBUQUERQUE NM 87114

MIMS MARCUS J
9112 LADRON DR NW
ALBUQUERQUE NM 87114

MINK GARY E & ELIZABETH A
7001 KAYSER MILL RD NW
ALBUQUERQUE NM 87114

MIRELES ED E & JUANIS V.
9316 ALLEGIANCE ST NW
ALBUQUERQUE NM 87114

MIZE VIRGIL LYNN & NIKOLITSA
7140 TREE LINE AVE NW
ALBUQUERQUE NM 87114

MOE BYRON L & SANDRA
9324 NATIONWIDE ST NW
ALBUQUERQUE NM 87114

MONKA JEFFREY S
2003 SOUTHERN BLVD SE 102-2
RIO RANCHO NM 87124

MONTANO CAROL L
9312 ALLEGIANCE ST NW
ALBUQUERQUE NM 87114

MONTANO DOROTHY M
9323 ALLEGIANCE ST NW
ALBUQUERQUE NM 87114

MONTANO MODESTO
7023 TIJERAS CREEK RD NW
ALBUQUERQUE NM 87114

MONTOYA ANDRES & SARAH
7132 LAS NUTRIAS NW
ALBUQUERQUE NM 87114

MOORE SHERIE J & JUUL JOANN C
6924 TIJERAS CREEK RD NW
ALBUQUERQUE NM 87114

MORALES JESUS & ESTELA
7147 GLYNDON TRL NW
ALBUQUERQUE NM 87114

MORENO ANA E
7000 HAWKWATCH RD NW
ALBUQUERQUE NM 87114

MORGAN SAMUEL D & MARY K
7140 CROSSWINDS TRL NW
ALBUQUERQUE NM 87114

MORGAN WILLIAM CHAD & STORMY L
7305 HEARTHSTONE RD NW
ALBUQUERQUE NM 87114

MORRISON KEITH & TERESA
7320 WILLIAMSBURG RD NW
ALBUQUERQUE NM 87114

MOUNT ROBERT A & MADELEINE J
TRUSTEES MOUNT FRVT
6575 LOWER RIDGE RD
SANTA ROSA CA 95404

MOUNT ROBERT A & MADELEINE J
TRUSTEES MOUNT RVFT
6575 LOWER RIDGE RD
SANTA ROSA CA 95404

MOUNT ROBERT A & MADELEINE J
TRUSTEES MOUNT RVT
6575 LOWER RIDGE RD
SANTA ROSA CA 95404

MOUNT ROBERT A & MADELEINE
TRUTEES MOUNT RVT
6575 LOWER RIDGE RD
SANTA ROSA CA 95404

MOYA JUSTIN D & CHRISTINA M
6932 TIJERAS CREEK RD NW
ALBUQUERQUE NM 87114

MULLIKIN ROBERT P
7005 KAYSER MILL RD
ALBUQUERQUE NM 87114

MURAYOSHI KIMIYASU
7219 SENECA RD NW
ALBUQUERQUE NM 87114

MUSE JERRY L SR & BRENDA LEE
8905 WINNCREST TRL NW
ALBUQUERQUE NM 87114

MUSSER CHRISTI
7015 HAWKWATCH RD NW
ALBUQUERQUE NM 87114

MYERS DAVID J & DAWN N
2536 TIERRA GRANDE CT
LAS CRUCES NM 88011

NANEZ ISAAC R & MELISSA I
7123 LAS NUTRIAS NW
ALBUQUERQUE NM 87114

NEELY MIKE E & RAE L CAROL L
9004 LADRON DR NW
ALBUQUERQUE NM 87114

NEIGHBORHOOD VALUE PROTECTION
LLC
1115 CENTRAL AVE NW
ALBUQUERQUE NM 87102

NEJO CHRISTOPHER A
7131 EDISON RD NW
ALBUQUERQUE NM 87114

NELSON ERIC S & EMILY L
7127 LAS NUTRIAS RD NW B
ALBUQUERQUE NM 87114

NELSON LARRY D & ANN JANETTE
7123 GLYNDON TRL NW
ALBUQUERQUE NM 87114

NELSON MICHAEL PAUL & ANGELA
ELISE
7115 LAS NUTRIAS NW
ALBUQUERQUE NM 87114

NEW MEXICO BANK & TRUST TRUSTEE
ALEXANDER MICHAEL URIOSTE IRRVT
PO BOX 2300
ALBUQUERQUE NM 87103 2300

NG YING
2635 SCHOOL ST
OAKLAND CA 94602

NGUYEN ANH THI-PHUNG & DINH LIEM
D
3063 BAYBERRY LN
SAN JOSE CA 95148

NGUYEN BINH D & SUONG T
7200 TEYPANA RD NW
ALBUQUERQUE NM 87114

NGUYEN BRYAN H & NHUNG PHAM
7239 WILLIAMSBURG RD NW
ALBUQUERQUE NM 87114

NGUYEN HELEN
5598 FARMHOUSE CT
SAN JOSE CA 95123

NGUYEN HENRY
3405 PRINCE OF WALES LN
SAN JOSE CA 95132

NGUYEN HUY MIKE & LIEN BICH
NGUYEN TRUSTEES NGUYEN FAMILY
LVT
2073 DARYLVIEW CT
SAN JOSE CA 95138

NGUYEN KHOA
4200 LARAMIE DR NW
ALBUQUERQUE NM 87120

NGUYEN LYNDIA
1952 ROSENFELDE CIR
SAN JOSE CA 95148

NGUYEN PETE H & ROMETA J
7128 CUCHILLO RD NW
ALBUQUERQUE NM 87114

NGUYEN PHONG T
7239 TREE LINE AVE NW
ALBUQUERQUE NM 87114

NGUYEN TAI T & MINH-THU T
9108 LADRON DR NW
ALBUQUERQUE NM 87114

NGUYEN THO & PHUONG THAO
9120 LADRON DR NW
ALBUQUERQUE NM 87114

NGUYEN TRINH T T & DUC H LE
2828 PALO ALTO DR NE
ALBUQUERQUE NM 87112

NGUYEN TU & THANG N
4160 AREZZO POINTE CT
SAN JOSE CA 95148

NGUYEN XUAN T & DUNG X VO
9109 LADRON DR NW
ALBUQUERQUE NM 87114 5932

NIELSEN HELEN V & JEREMY S
7116 CROSSWINDS TRL NW
ALBUQUERQUE NM 87114

NIXON AANA L
7131 CUCHILLO RD NW
ALBUQUERQUE NM 87114

NIXON ERIC
7128 TREE LINE AVE NW
ALBUQUERQUE NM 87114

NM REDEMPTION RIGHTS LLC
2222 PARKWEST DR NW
ALBUQUERQUE NM 87120

NOVELLO RONALD J JR & ELENA A
PO BOX 78352
CORONA CA 92877

NUNZIATO BRIAN J
6916 CANYON CLIFF RD NW
ALBUQUERQUE NM 87114

OBRIEN MAUREEN ANN
9108 MESA PL NW
ALBUQUERQUE NM 87114

ODOMS JAMES T & DEORA TRUSTEES
ODOMS LVT
7319 HEARTHSTONE RD NW
ALBUQUERQUE NM 87114

OLONIA MALINA LAURA
6923 CANYON CLIFF RD NW
ALBUQUERQUE NM 87114

ONG WELLIVER TIU
9124 LADRON DR NW
ALBUQUERQUE NM 87114

ORMSBEE TRACEY L
9300 NATIONWIDE ST NW
ALBUQUERQUE NM 87114

ORTIZ MATTHEW VICTOR
6832 TREELINE AVE NW
ALBUQUERQUE NM 87114

OSTLER JAY E & BETHANY C
6927 HAWKWATCH RD NW
ALBUQUERQUE NM 87114

OTERO LAWRENCE M & CLAUDIA
9008 LADRON DR NW
ALBUQUERQUE NM 87114

PACHECO BEATRICE V
9308 ALLEGIANCE ST NW
ALBUQUERQUE NM 87114

PADILLA DAVID R & DEBORAH A
PHILIPS
8931 BALSAM GLADE RD NW
ALBUQUERQUE NM 87114

PADILLA KEVIN WILLIAM & PADILLA
MARION ROSEMARIE & DERELD I
6915 TREE LINE AVE NW
ALBUQUERQUE NM 87114

PADILLA MELISSA & HICKS CYNTHIA
7119 EDISON RD NW
ALBUQUERQUE NM 87114

PALENSCHAT ROBERT & NADIA
7136 TREE LINE AVE NW
ALBUQUERQUE NM 87114

PANG CHING & LINDA
8920 WINNCREST TRL NW
ALBUQUERQUE NM 87114

PANKRATZ CHELSEA J & BRIAN N
PSC 3601 2050A 2ND ST SE
KIRTLAND AFB NM 87117 5524

PARADISE WEST INC
7423 LANTERN RD NE
ALBUQUERQUE NM 87109

PARKISON MICHAEL F & ANDREA E
9004 MESA PL NW
ALBUQUERQUE NM 87114

PATITSAS PAUL A
9300 ALLEGIANCE ST NW
ALBUQUERQUE NM 87114

PEARCE THOMAS E
7131 LAS NUTRIAS RD NW
ALBUQUERQUE NM 87114

PEDROTTY KURT MATTHEW & ELISEA
CLAIRE
7304 WILLIAMSBURG RD NW
ALBUQUERQUE NM 87114

PEREA-RICHMANN JOANN
9127 RIO GALESTEO PL NW
ALBUQUERQUE NM 87114

PEREA-WALKER TANYA P & ROBERT M
WALKER
7124 ALAMILLO RD NW
ALBUQUERQUE NM 87114

PEREA VICTOR & GLORIA A & PEREA
MARK V
6931 TIJERAS CREEK RD NW
ALBUQUERQUE NM 87114

PEREZ FERNANDO JAVIER & AMANDA L
6931 CANYON CLIFF RD NW
ALBUQUERQUE NM 87120

PEREZ ROCEL G
32458 JEAN DR
UNION CITY CA 94587

PHAM DENISE
7305 WILLIAMSBURG RD NW
ALBUQUERQUE NM 87114

PHAM GIA V & JESSICA N
1425 CARMINE WAY
SAN JOSE CA 95131

PHAM KEO THI
9100 LADRON DR NW
ALBUQUERQUE NM 87114 5931

PHAM PHU V & SUSAN L
3371 GONZAGA PL
SANTA CLARA CA 95051

PHILLIPS LARRY D & CAROLINE M
9307 BATTLE CREEK NW
ALBUQUERQUE NM 87114

PICKETT CHAD L & ANNA E
7224 JALISCO RD NW
ALBUQUERQUE NM 87114

PIERSON BENJAMIN M & AMANDA
7139 GLYNDON TRL NW
ALBUQUERQUE NM 87114

PILI MANUEL R ETUX
4196 OCEAN AVE
BROOKLYN NY 11235 3729

PINO RONALD
7023 CANYON CLIFF RD NW 264
ALBUQUERQUE NM 87114

PORRAS JAMES D
7224 TEYPANA RD NW
ALBUQUERQUE NM 87114

POTUTSCHNIG RICHARD ANTHONY &
JENNIFER
7020 CANYON CLIFF RD NE
ALBUQUERQUE NM 87114

POWERS KEVIN & FLORIDALBA
7328 WILLIAMSBURG RD NW
ALBUQUERQUE NM 87114

POZOS JULIO CESAR & MARTINEZ
TANYA C
8901 OSO CORRIDOR PL NW
ALBUQUERQUE NM 87114

PRESBYTERIAN HEALTHCARE SERVICES
PO BOX 26666
ALBUQUERQUE NM 87103

PROVENCIO DANIEL M & DESIREE R
8928 OSO CORRIDOR PL NW
ALBUQUERQUE NM 87114

RAEL FRANK T & CAROL A
7004 KAYSER MILL RD NW
ALBUQUERQUE NM 87114

RAND BERNADETTE & ROBERT A ROWE
6915 KAYSER MILL RD NW
ALBUQUERQUE NM 87114

RAYKOVICS MICHAEL A & DENISE A
7115 EDISON RD NW
ALBUQUERQUE NM 87114

RCS-CANTATA RESIDENCES I LLC
371 CENTENNIAL PKWY SUITE 200
LOUISVILLE CO 80027

RCS-NM HOLDINGS I LLC
371 CENTENNIAL PKWY SUITE 200
LOUISVILLE CO 80027

RCS-TAOS LLC
371 CENTENNIAL PKWY SUITE 200
LOUISVILLE CO 80027

RCS-TRAILS 9-A LLC
371 CENTENNIAL PKWY SUITE 200
LOUISVILLE CO 80027

REARDON ANTHONY J & MARY-HELEN
1120 FLAMINGO
GLENORA CA 91741

RICHARDSON-VALDEZ SUSAN
7120 CROSSWINDS TRL NW
ALBUQUERQUE NM 87114

RICHARDSON LILLIAN B
9139 RIO GALISTEO PL NW
ALBUQUERQUE NM 87114

RICKERT JOSHUA KEITH & MONICA N
6915 TIJERAS CREEK RD NW
ALBUQUERQUE NM 87114

RIDDLE AMBER D
7152 LAS NUTRIAS RD NW
ALBUQUERQUE NM 87114

ROBERTS NATHAN & KELLI ROBERTS
9332 NATIONWIDE ST NW
ALBUQUERQUE NM 87114

RODRIGUEZ PHILLIPE V & SERENA L
9020 RIO GALISTEO NW
ALBUQUERQUE NM 87114

ROMERO EZEQUIEL P & DEBORAH E
9320 ALLEGIANCE ST NW
ALBUQUERQUE NM 87114

ROMERO MELVIN & ANGELA
7112 CUCHILLO RD NW
ALBUQUERQUE NM 87114

ROMERO NICHOLAS R & LEAH K
9324 ALLEGIANCE ST NW
ALBUQUERQUE NM 87114

ROSENBAUM GLENN & AMY
7140 CUCHILLO RD NW
ALBUQUERQUE NM 87114

ROTH PHYLICIA M
7004 TIJERAS CREEK RD NW
ALBUQUERQUE NM 87114

RUBIDOUX ERIC T & CHRISTINA R
7024 TIJERAS CREEK RD NE
ALBUQUERQUE NM 87113

RUDD DOUGLAS A & MARY LYNN
9136 RIO GALISTEO PL NW
ALBUQUERQUE NM 87114

RUDOLPH DANIEL JR
6919 KAYSER MILL RD NW
ALBUQUERQUE NM 87114

RUDOLPH DANIEL JR % RENDON RANDY
L & RENDON DONNA L CO-TR RENDON
RVT
6919 KAYSER MILL RD NW
ALBUQUERQUE NM 87114

RUNSICK PAULA A & DAVID B
7236 HEARTHSTONE RD NW
ALBUQUERQUE NM 87114

RUSHENBERG PATRICK C & VANESSA L
7027 TREE LINE AVE NW
ALBUQUERQUE NM 87109

SAAVEDRA FERNANDO
8906 W FLAGLER ST APT 109
MIAMI FL 33174 3910

SAENZ STEPHEN R
9108 OLD MILL ST NW
ALBUQUERQUE NM 87114

SALAZAR DOLORES M
7109 EDISON RD NW
ALBUQUERQUE NM 87114

SALAZAR MARTIN D & KRISTINA M
7124 HEARTHSTONE RD NW
ALBUQUERQUE NM 87114

SALAZAR MATTHEW & LAURA L
9301 ALLEGIANCE ST NW
ALBUQUERQUE NM 87114

SALCIDO ANTHONY J & BERNADETTE C
10317 SANTA PAULA NE
ALBUQUERQUE NM 87111

SANCHEZ AARON J & ANGELICA M
7127 EDISON RD NW
ALBUQUERQUE NM 87114

SANCHEZ DAVID A
7028 TREE LINE AVE NW
ALBUQUERQUE NM 87114

SANCHEZ JAMES W
7019 TIJERAS CREEK RD NW
ALBUQUERQUE NM 87114

SANCHEZ JULIE
7008 TIJERAS CREEK RD NW
ALBUQUERQUE NM 87114

SANCHEZ KERRIANNE
9323 JAMESON ST NW
ALBUQUERQUE NM 87114

SANCHEZ MANUEL R & PATRICIA L
7236 WILLIAMSBURG RD NW
ALBUQUERQUE NM 87114

SANCHEZ MARCUS JOHN & NANCY
ANN
7459 SWAN LAKE DR
NEW PORT RICHEY FL 34655

SANCHEZ PAUL A & ROSALIE S
PO BOX 67576
ALBUQUERQUE NM 87193

SANCHEZ SIMON & YVONNE
7231 WILLIAMSBURG RD NE
ALBUQUERQUE NM 87120

SANCHEZ STEVEN E & NANCY L
9123 OLD MILL ST NW
ALBUQUERQUE NM 87114

SANCHEZ VICTOR E SR & SANTA
SANCHEZ
9116 LADRON DR NW
ALBUQUERQUE NM 87114

SANDOVAL AARON & MARIA D
9327 ALLEGIANCE ST NW
ALBUQUERQUE NM 87114

SANTISTEVEN MICHAEL & JANET
PO BOX 3794
GRANTS NM 87020

SANTOS DUANE & MICHON
9105 OLD MILL ST NW
ALBUQUERQUE NM 87114

SAYLOR CLIFFORD B & DONNA E
7324 WILLIAMSBURG RD NW
ALBUQUERQUE NM 87120

SCHANCER KORY J & SHELLY M
NOSBISCH
7223 WILLIAMSBURG RD NW
ALBUQUERQUE NM 87120

SCHINDLER PATRICIA TR SCHINDLER
RVT
7308 TOME CT NW
ALBUQUERQUE NM 87114

SCHMIDLEY JAMES III & DAWN
9319 NATIONWIDE ST NW
ALBUQUERQUE NM 87120

SEAGRIST THOMAS A
9315 JAMESON ST NW
ALBUQUERQUE NM 87114

SEDILLO MICHAEL A
7240 WILLIAMSBURG RD NW
ALBUQUERQUE NM 87114

SELGADO JANET R
611 GENE AVE NW
ALBUQUERQUE NM 87107

SETAYESH HAMID & FLORA
9328 NATIONWIDE ST NW
ALBUQUERQUE NM 87120

SHANNON CHRISTOPHER S & TAWNYA
L
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ALBUQUERQUE NM 87114

SHARRAR JANEEN
9316 BATTLE CREEK ST NW
ALBUQUERQUE NM 87114

SHERRIE MICHAEL D & GLORIA F
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SHOCKEY ROBERT L & KERRY A
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ALBUQUERQUE NM 87114

SHORTRIDGE ROBERT G
7036 TREE LINE AVE NW
ALBUQUERQUE NM 87114

SIAO-PAO WILIA M
7228 HEARTHSTONE RD NW
ALBUQUERQUE NM 87114

SIERRA AT THE TRAILS INC
3077 E WARM SPRINGS RD
LAS VEGAS NV 89120

SIERRA CHERIE L
9115 LADRON DR NW
ALBUQUERQUE NM 87114

SILVA CHRISTINA C
7131 TREE LINE AVE NW
ALBUQUERQUE NM 87114

SILVA JOHNNY J & MONICA C
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SIMKO ISTVAN & MONICA
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SINTON MARY L
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SISNEROS MANUEL A
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SMITH BENJAMIN II & ELSIE
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SMITH ROBERT W & SARA R
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SMITH SHAUNNA & TRAVIS FOLKERT
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SNOW DANIEL G & KIMBERLY A
8920 HALLSTON TRL NW
ALBUQUERQUE NM 87114

SORBER GREGORY
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ALBUQUERQUE NM 87114

SORIANO SANDRA S
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ALBUQUERQUE NM 87114

SORO FAFEH HABEB & JALEELA ZORA
SORO CO-TRUSTEES NJ SORO FAMILY
TR
3604 BONITA RANCH CT
CHULA VISTA CA 91910

SORO FIRAS N SR
3122 CASA BONITA DR
BONITA CA 91902

SOTO MELISSA L
9115 NUEVA SEVILLA ST NW
ALBUQUERQUE NM 87114

STATE OF NEW MEXICO STATE LAND
OFFICE
PO BOX 1148
SANTA FE NM 87504 1148

STEINMETZ CHRISTOPHER
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ALBUQUERQUE NM 87114

STETSON STUART C & TINA A
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ALBUQUERQUE NM 87114

STOCK MARY L
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ALBUQUERQUE NM 87114

STOECKER CHRISTOPHER & SARAH
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ALBUQUERQUE NM 87114

STONE DEVRA K
24701 RAYMOND WAY 184
LAKE FOREST CA 92630

STRENGTH RALPH EDWARD & WENDY
JANELLE MARTIN-STRENGTH
9315 BATTLE CREEK ST NW
ALBUQUERQUE NM 87114

SULIVAN-TRUJILLO LORETTA
6919 CANYON CLIFF RD NW
ALBUQUERQUE NM 87114

SUTHERLAND DEBORAH L
6724 TREELINE AVE NW
ALBUQUERQUE NM 87114

TAOS AT THE TRAILS HOMEOWNERS
ASSOC
3077 E WARM SPRINGS RD
LAS VEGAS NV 89120

TAOS AT THE TRAILS INC
371 CENTENNIAL PKWY SUITE 200
LOUISVILLE CO 80027

TAPIA JOHNNY & TAPIA EDDIE R &
JENNIFER
6927 CANYON CLIFF RD NW
ALBUQUERQUE NM 87114

TAYLOR CHRISTOPHER & ELIZABETH
8916 OSO CORRIDOR PL NW
ALBUQUERQUE NM 87114

TAYLOR JULIE ALENE
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ALBUQUERQUE NM 87114

TEUPELL LORENZO
9027 RIO GALISTEO PL NW
ALBUQUERQUE NM 87114

THE TRAILS COMMUNITY ASSOCIATION
7023 TREE LINE AVE NW
ALBUQUERQUE NM 87114 5971

THE TRAILS COMMUNITY ASSOCIATION
INC
PO BOX 67590
ALBUQUERQUE NM 87193 7590

THE TRAILS LLC
3077 E WARM SPRINGS RD
LAS VEGAS NV 89120

THE TRAILS LLC
371 CENTENNIAL PKWY SUITE 200
LOUISVILLE CO 80027

THIBODEAUX ROBERT K & TERESA H
7223 JALISCO RD NW
ALBUQUERQUE NM 87114

THOMAS CLEVON W & SHAREE LYNN
7240 TEYPANA RD NW
ALBUQUERQUE NM 87114

THOMAS NONA V
9128 SABINAL DR NW
ALBUQUERQUE NM 87114

THOMAS RONI
7216 TREE LINE AVE NW
ALBUQUERQUE NM 87114

THOMPSON NASHAUN M
7008 HAWKWATCH RD NW
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TILLOTSON LARRY P
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TILMAN SUZZETTE M
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TIMMONS JAMES & CYNTHIA
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TORRANCE STEVEN E & MAGDALENA
7115 CUCHILLO RD NW
ALBUQUERQUE NM 87114

TORRES ANGEL A & AUDRA L
8908 HALLSTON TRL NW
ALBUQUERQUE NM 87114

TORRES STEPHEN MATTHEW
7127 TREE LINE AVE NW
ALBUQUERQUE NM 87114

TORREZ MICHAEL & MARY ESTHER
6909 TREE LINE AVE NW B
ALBUQUERQUE NM 87114

TP PASEO DEL NORTE LLC C/O THOMAS
PROPERTIES
340 E BERGER ST
SANTA FE NM 87505

TRAILS COMMUNITY ASSOCIATION
(THE)
7007 JEFFERSON BLVD NE SUITE A
ALBUQUERQUE NM 87109

TRAILS COMMUNITY ASSOCIATION INC
(THE)
3077 E WARM SPRINGS RD
LAS VEGAS NV 89120

TRAN TUAN & HA DORIS
1253 THORNMILL WAY
SAN JOSE CA 95121

TRAWINSKI BRIAN J & ALISON
9128 LADRON DR NW
ALBUQUERQUE NM 87111

TREJO ALEX
7101 TREE LINE AVE NW
ALBUQUERQUE NM 87114

TREVINO BENNY E
6927 TIJERAS CREEK RD NW
ALBUQUERQUE NM 87114

TRINH KHANH
6163 HEATHERCREEK WAY
SAN JOSE CA 95123

TRUJILLO ALFONSO R & TANA A
8912 HALLSTON TRL NW
ALBUQUERQUE NM 87114

TRUJILLO ANGELO M
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TRUJILLO CARMEN V
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TRUJILLO ERIC J & LISA D
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TRUJILLO JAMES P JR & CRISTINA I
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TRUJILLO SANTOS & ANNETTE
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TRUJILLO STEPHEN R
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TURNER JEFFREY A & SUSAN A
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TWEETEN EARL DARWIN
9105 NUEVA SEVILLA ST NW
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ULIBARRI KARLOS & IRMA L
7109 GLYNDON TRL NW
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ULIBARRI MARGARET J & MANUEL E
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UNIVERSITY OF ALBUQUERQUE
4000 ST JOSEPH'S PL NW
ALBUQUERQUE NM 87140

VALENCIA GILBERT & DOLPHIN
CHRISTINE
7136 LAS NUTRIAS RD NW
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VALENZUELA CARLOS A & YUMO
MARISSA G
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ALBUQUERQUE NM 87114

VALLEJOS MAXIMILIANO & ALICIA J
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VANHUSS MARK A
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VARELA ALICIA C
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VELARDE VERNON & CRYSTAL
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ALBUQUERQUE NM 87114

VENEGAS LEVI & DEAN MELISSA S
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ALBUQUERQUE NM 87114

VIGIL CHARLES STEVEN & JENNIE
MICHELLE
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ALBUQUERQUE NM 87114

VIGIL GILBERTO A
4949 SAN PEDRO DR NE APT 101
ALBUQUERQUE NM 87109 2583

VIGIL JESSICA L & BENEDICT J
6924 HAWKWATCH RD NW
ALBUQUERQUE NM 87114

VILLAFANA NALONNI
7001 CANYON CLIFF RD NW
ALBUQUERQUE NM 87114

VILLALONGIA ALAIN & KARI
8931 WINNCREST TRL NW
ALBUQUERQUE NM 87114

VO THUY V
PO BOX 53161
ALBUQUERQUE NM 87192

VU QUANG T & PHAM ALENE L
718 GIER CT
SAN JOSE CA 95111

VU THUY LINH & DUC T DANG
380 S RAMSGATE DR
ANAHEIM CA 92807

WAGER JOSEPH & DEBORAH
9327 NATIONWIDE ST NW
ALBUQUERQUE NM 87114 4558

WAGNER ASHTON N & LINES JOSHUA J
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ALBUQUERQUE NM 87114

WALLI NAWAZ AKBAR & SHELINE
NAWAZ
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WANG JIMMY M
1301 N PALMSPRINGS DR
GILBERT AZ 85234

WARFIELD WILLIAM
6905 TREE LINE AVE NW
ALBUQUERQUE NM 87114

WATTS BENJAMIN J & SAMUEL N
WATTS
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ALBUQUERQUE NM 87120

WEALE JOHN CHRISTOPHER
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WEBB JASON & JESSICA
9319 BATTLE CREEK ST NW
ALBUQUERQUE NM 87114

WEELDREYER STEPHEN T & HEIDI M
9100 JARALES CT NW
ALBUQUERQUE NM 87114

WELCH BRIAN G & THERESA A
7101 GLYNDON TRL NW
ALBUQUERQUE NM 87114 4515

WELCH THOMAS D II % JOHNNY TAPIA
& BEN CHAVEZ
411 ORTIZ DR NE
ALBUQUERQUE NM 87108

WELLS FARGO BANK
3476 STATEVIEW BLVD
FORT MILL SC 29715

WESTVILLE LLC
42937 CALLE LONDE
TEMECULA CA 92592

WHEELER MARY BETH
7009 TIJERAS CREEK RD NW
ALBUQUERQUE NM 87114

WHITE DAVID & ANDREA
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WICKHAM MARGARET
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WIELAND ARLAN P & DINA M
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WILLIAMS LAWRENCE & PAMELA L
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WILLIAMSON NUNRY T
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WILSON SEAN & BRITTANY
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ALBUQUERQUE NM 87114

WONG JONATHAN & KIMBERLY
8909 WINNCREST TRL NW
ALBUQUERQUE NM 87114

WOODHOUSE STEVE M & CELESTE F
4 ARCHBAY ST
LAGUNA BEACH CA 92677

WURSTER GREG
7304 TOME CT NW
ALBUQUERQUE NM 87114

WYSONG DANIEL G & JILL K
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ALBUQUERQUE NM 87114

XUANNHAN ADELINE CLAIANU
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YANCY MICHAEL E & KASIE
9332 WEST HAVEN ST NW
ALBUQUERQUE NM 87114

YAPOR LUIS & CECILIA
7027 KAYSER MILL RD
ALBUQUERQUE NM 87104

YORK REGINA
7316 TOME CT NW
ALBUQUERQUE NM 87114

YOUNG BARBARA ANN & THOMAS G III
9101 OLD MILL ST NW
ALBUQUERQUE NM 87114

YOUNGMAN MATTHEW A
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YPLAO INVESTMENTS LLC
202 N CURRY ST 100
CARSON CITY NV 89703

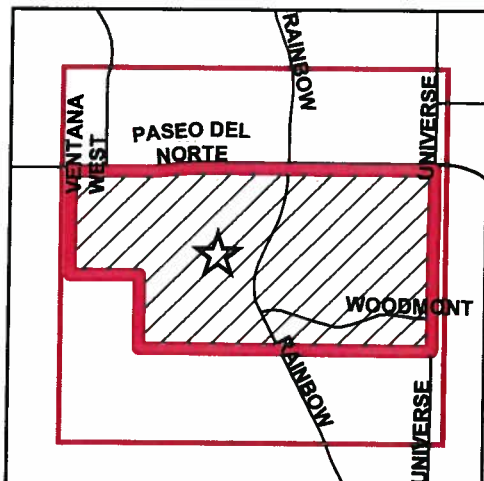
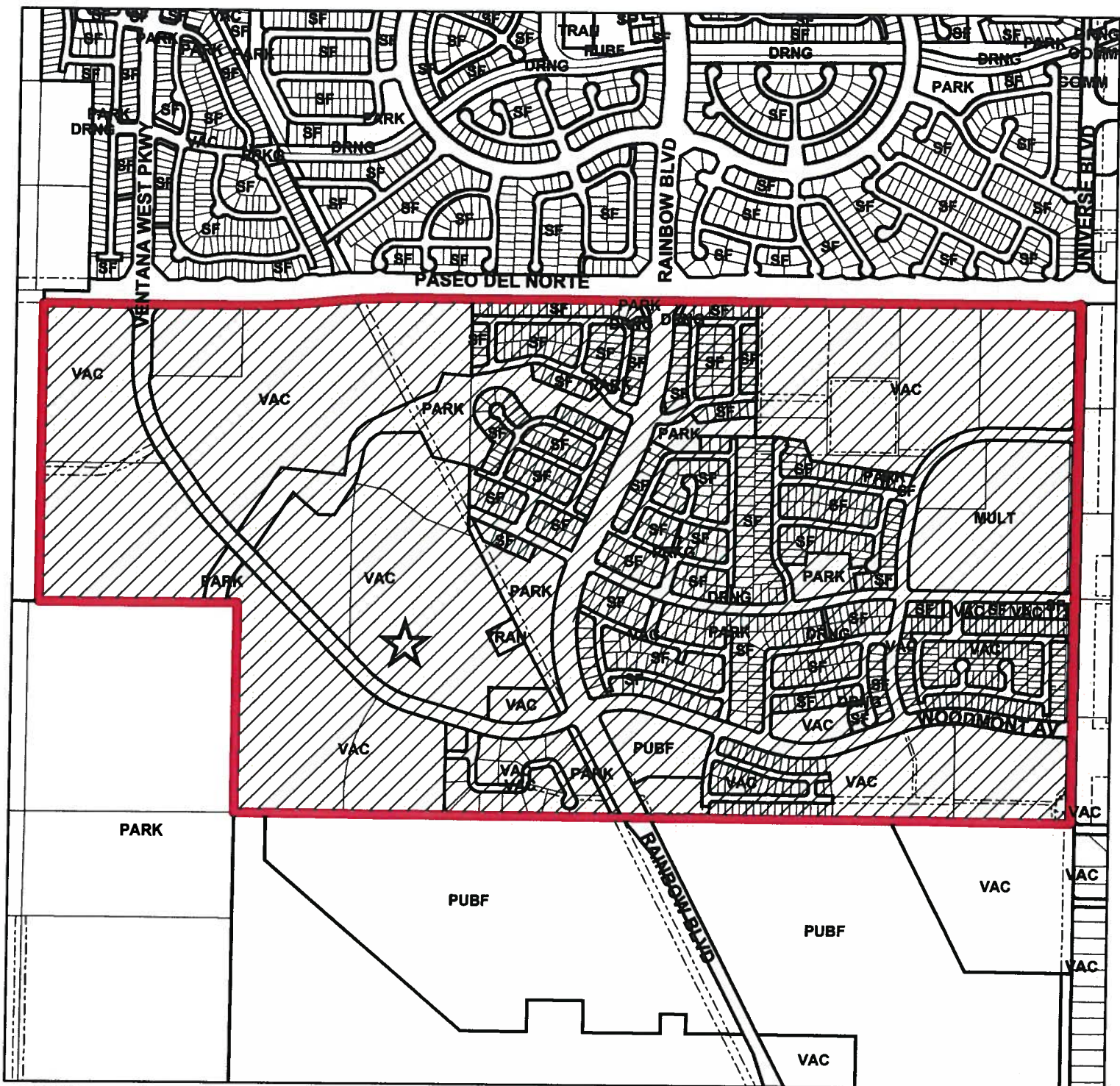
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ZAMORA ALEJANDRO D
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ZHENG WEIFENG & LI YEE GUO
7340 ELDORA AVE NW
LAS VEGAS NV 89117

ZIA TRUST INC CUSTODIAN MELVIN
LYERIA IRA
6301 INDIAN SCHOOL RD NE SUITE 800
ALBUQUERQUE NM 87110

ZORA SALAM
3653 BONITA RANCH CT
BONITA CA 91902



LAND USE MAP

Note: Grey shading indicates County.

KEY to Land Use Abbreviations

AGRI Agriculture
 COMM Commercial - Retail
 CMSV Commercial - Service
 DRNG Drainage
 MFG Manufacturing
 MULT Multi-Family or Group Home
 PARK Park, Recreation, or Open Space
 PRKG Parking
 PUBF Public Facility
 SF Single Family
 TRAN Transportation Facility
 VAC Vacant Land or Abandoned Buildings
 WH Warehousing & Storage

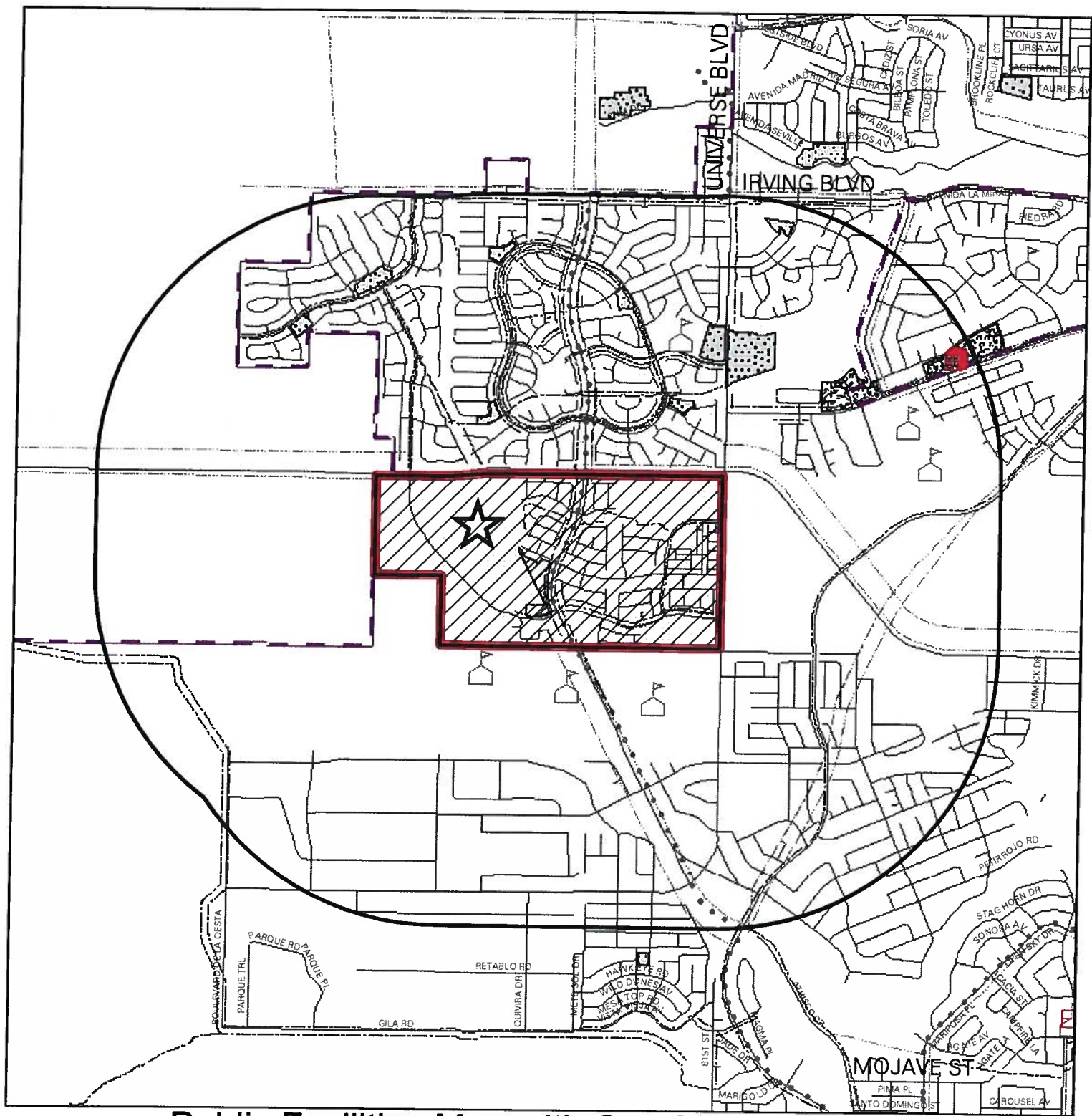


1 inch = 855 feet

Project Number:
1008444

Hearing Date:
2-14-2013

Zone Map Page: C-10
 Additional Case Numbers:
13EPC 40160

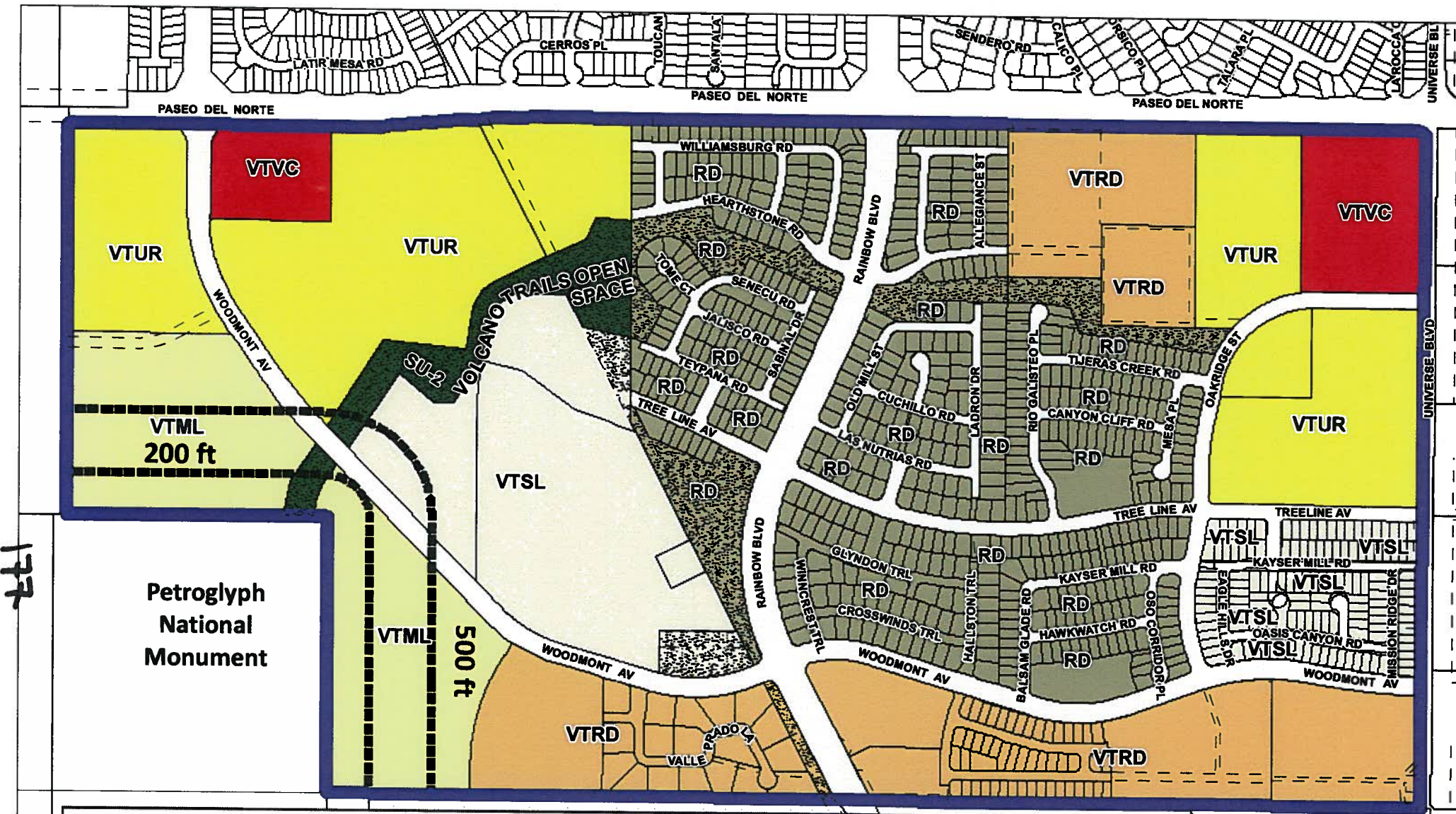


Public Facilities Map with One-Mile Buffer

- | | | | |
|----------------------|-------------------------|--------------------------|-----------------------------|
| COMMUNITY CENTER | FIRE | APS Schools | Landfill Buffer (1000 feet) |
| MULTI-SERVICE CENTER | POLICE | ABQ Ride Routes | Landfills designated by EHD |
| SENIOR CENTER | SHERIFF | ABQ Bike Facilities | Developed County Park |
| LIBRARY | SOLID WASTE | Proposed Bike Facilities | Undeveloped County Park |
| MUSEUM | Albuquerque City Limits | | Developed City Park |
| | | | Undeveloped City Park |

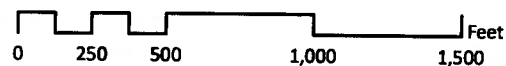
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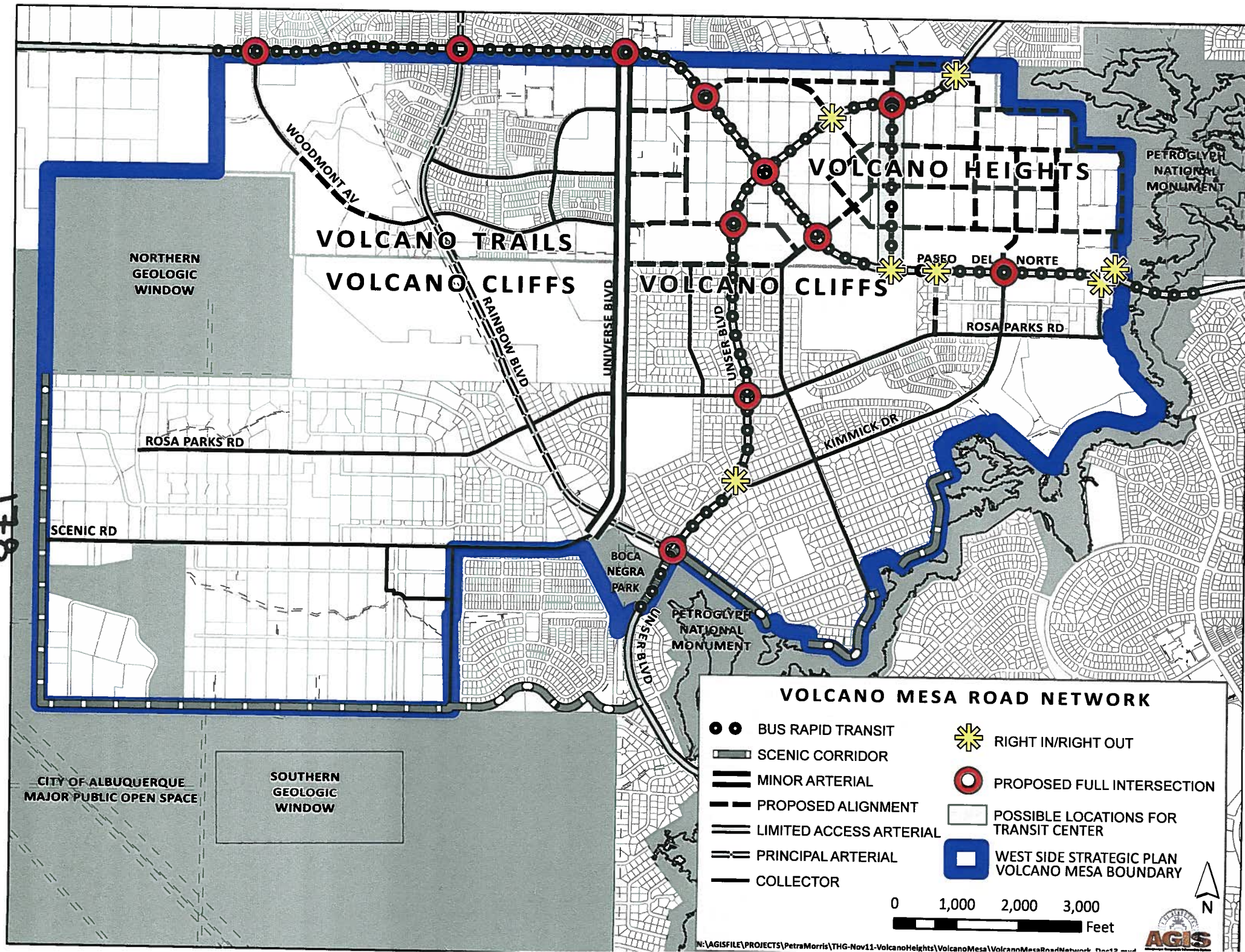
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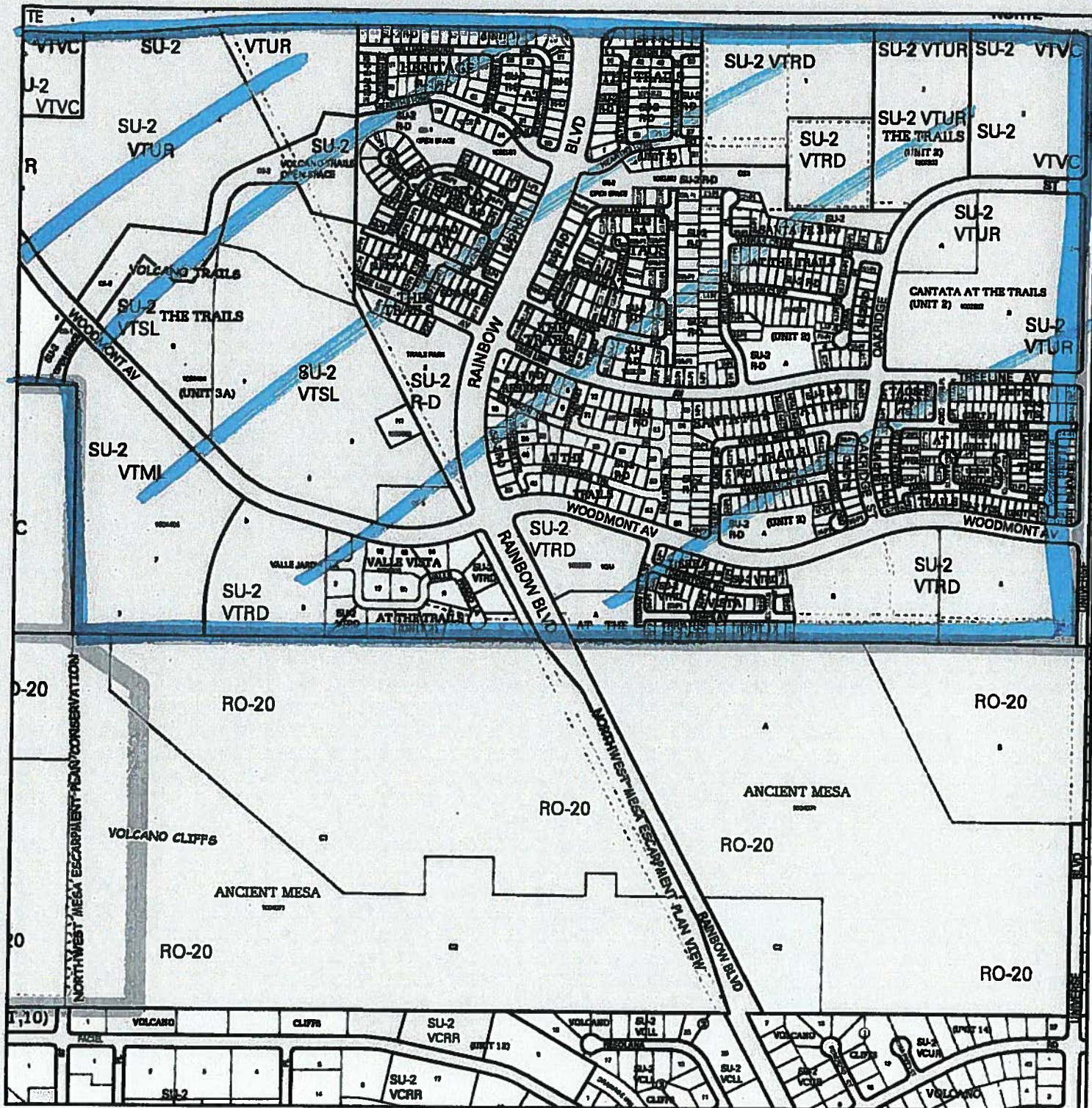


VOLCANO TRAILS SECTOR DEVELOPMENT PLAN - ZONING MAP

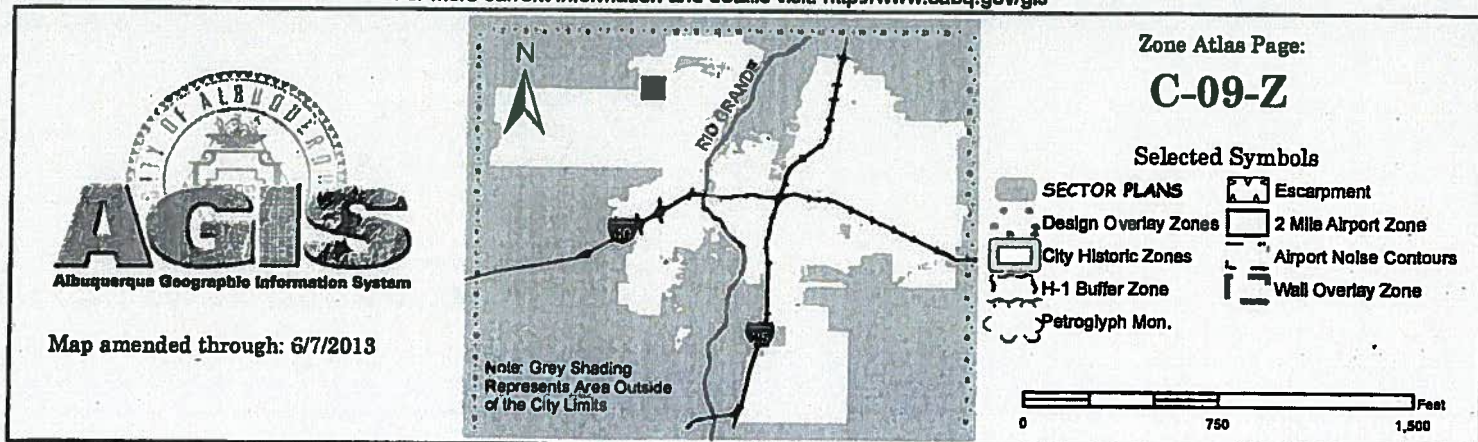
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|---|--|--------------------------------|
| VTVC, SU-2/Trails Village Center | VTSL, SU-2/Trails Small Lot Residential | SU-2 Volcano Trails Open Space |
| VTUR, SU-2/Trails Urban Residential | VTML, SU-2/Trails Medium Lot Residential | Open Space Corridor |
| VTRD, SU-2/Trails Residential Developing Area | SU-2 RD - Residential and Related Uses Zone, Developing Area | Volcano Trails Boundary |

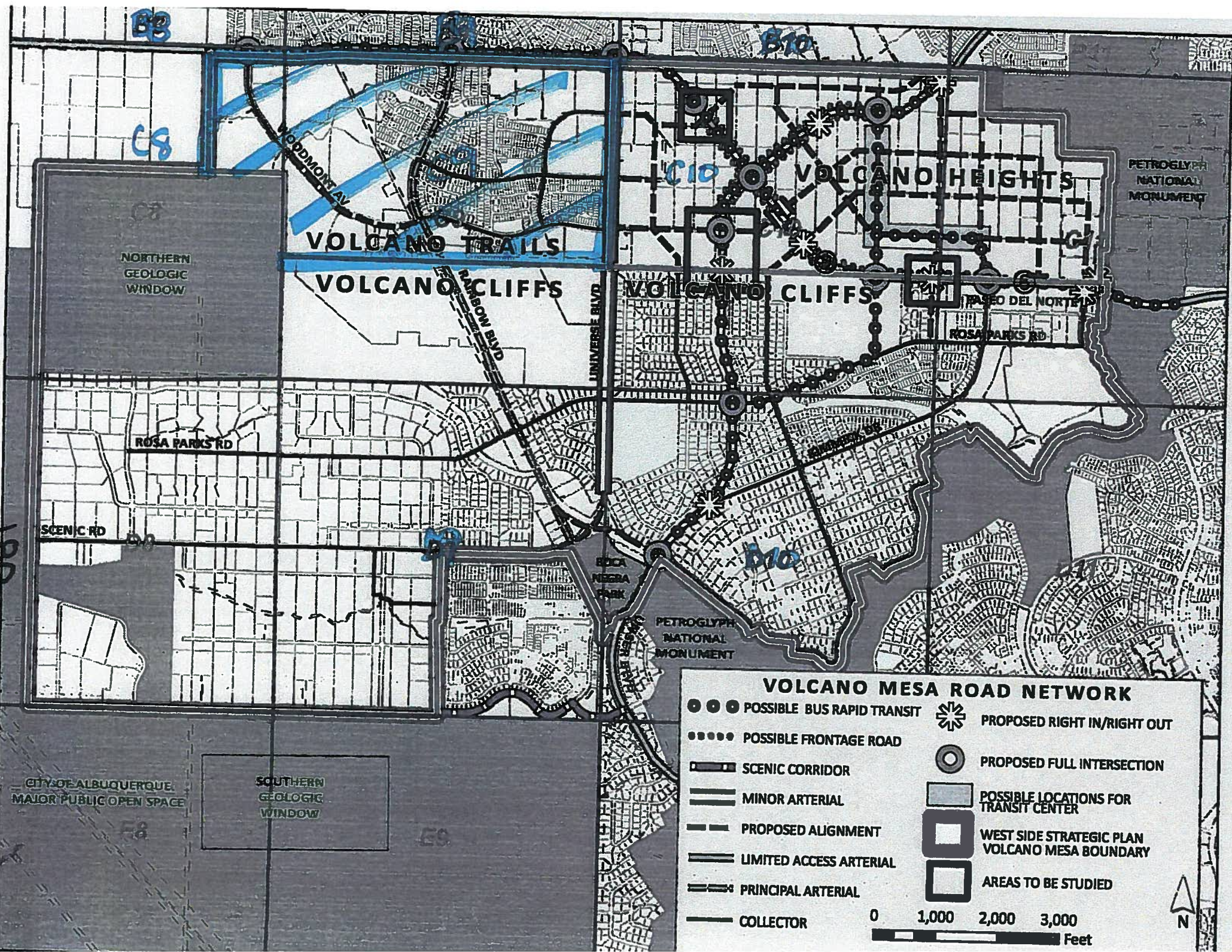






For more current information and details visit: <http://www.cabq.gov/gis>





NORTHERN
GEOLOGIC
WINDOW

VOLCANO TRAILS
VOLCANO CLIFFS

VOLCANO CLIFFS

VOLCANO HEIGHTS

PETROGLYPH
NATIONAL
MONUMENT

ROSA PARKS RD

SCENIC RD

UNIVERSE BLVD

BOCA
NEGRA
PARK

PETROGLYPH
NATIONAL
MONUMENT

TRASEO DEL NORTE

ROSA PARKS RD

CITY OF ALBUQUERQUE
MAJOR PUBLIC OPEN SPACE

SOUTHERN
GEOLOGIC
WINDOW

VOLCANO MESA ROAD NETWORK

- ● ● POSSIBLE BUS RAPID TRANSIT
- ● ● ● POSSIBLE FRONTAGE ROAD
- ▬ SCENIC CORRIDOR
- ▬ MINOR ARTERIAL
- ▬ PROPOSED ALIGNMENT
- ▬ LIMITED ACCESS ARTERIAL
- ▬ PRINCIPAL ARTERIAL
- ▬ COLLECTOR
- ✱ PROPOSED RIGHT IN/RIGHT OUT
- PROPOSED FULL INTERSECTION
- POSSIBLE LOCATIONS FOR TRANSIT CENTER
- WEST SIDE STRATEGIC PLAN VOLCANO MESA BOUNDARY
- AREAS TO BE STUDIED

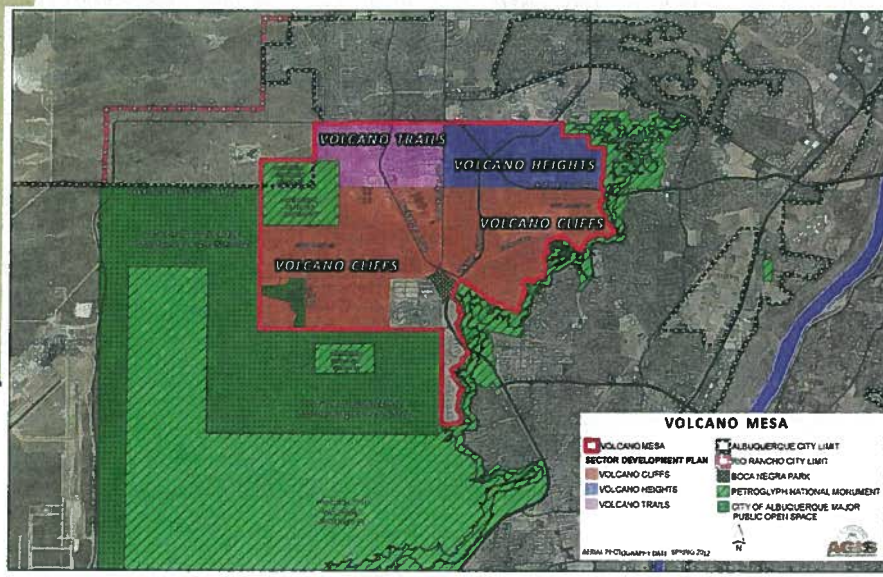


Volcano Mesa Plans Proposed Text Amendments

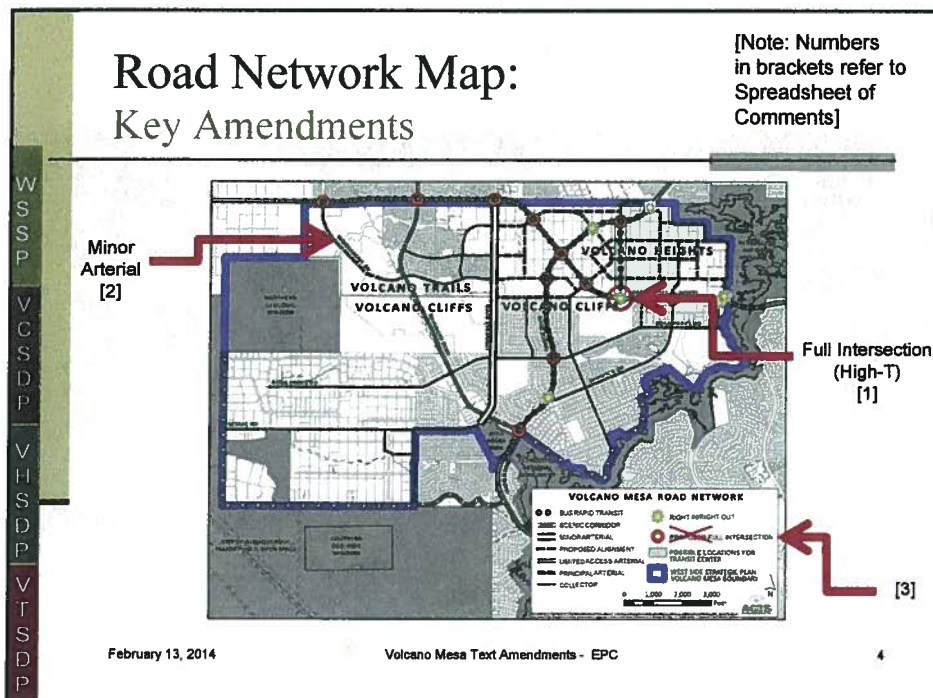
Environmental Planning Commission (EPC)
February 13, 2014

1

Albuquerque's West Side: Volcano Mesa

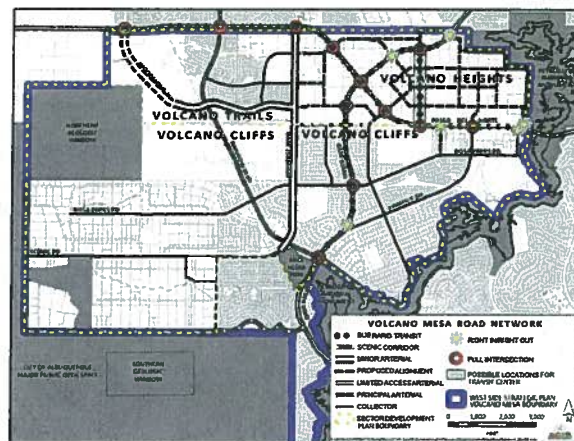


Volcano Mesa Plans: History & Key Amendments			[Note: Numbers in brackets refer to Spreadsheet of Comments]
Adopted	Plan	Key Amendments	
Feb. 2011	Rank 2 West Side Strategic Plan (WSSP) Volcano Mesa Amendment ■ 1008444 / 13EPC-40159 ■ Agenda Item 05	■ Road network map [1, 2, 3] ■ Activity Centers [9, 10] ■ Volcano Heights – MAC [9] ■ Volcano Cliffs – NAC [10]	
May 2011	Rank 3 Volcano Cliffs Sector Development Plan (SDP) ■ 1008444 / 13EPC-40162 ■ Agenda Item 07	■ Road network map [1, 2, 3] ■ Cross Sections ■ Fugitive dust [4] ■ Walls in VCRR [17]	
Aug. 2011	Rank 3 Volcano Trails SDP ■ 1008444 / 13EPC-40160 ■ Agenda Item 06	■ Road network map [1, 2, 3] ■ Woodmont Ave. [2] ■ Fugitive dust [4]	
Aug. 2013	Rank 3 Volcano Heights SDP ■ 1008444 / 13EPC-40161 ■ Agenda Item 08	■ Road network map [1, 2, 3] ■ "High T" intersection on Transit Blvd. [1] ■ Fugitive dust [4]	



Volcano Mesa:

Roadway Network Map as of Feb. 2014



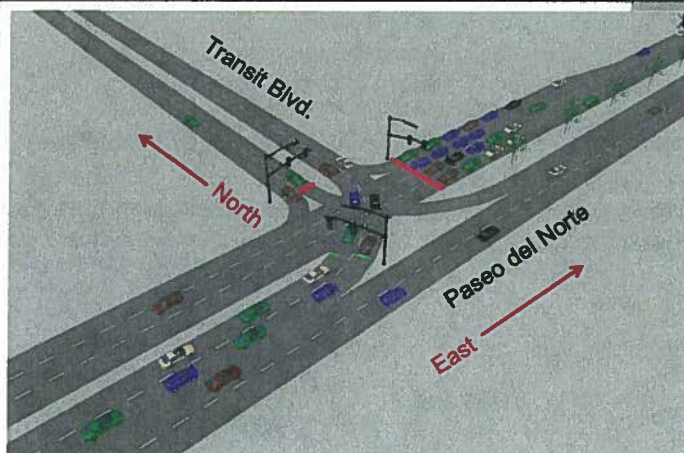
February 13, 2014

Volcano Mesa Text Amendments - EPC

5

Road Network Map: High-T Intersection Demo

[Note: Example for Demonstration Only. Does not match specified cross sections.]



[TCC R-13-02 specifies "High-T" for Transit Blvd.]

Source: An Applied Technology and Traffic Analysis Program, University of Maryland (<http://tinyurl.com/high-tee-video>)
February 13, 2014 Volcano Mesa Text Amendments - EPC

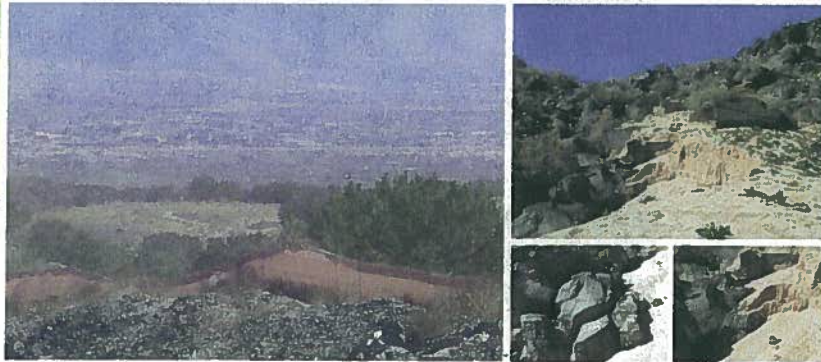
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Fugitive Dust: History, Impetus and Intent

1. Petroglyph National Monument protection

Councilor Benton Amendment Language (2011)

- Commercial: Grading permit tied to building permit
- Residential: Developments > 10 acres stabilize soil within 3 months



Fugitive Dust: History, Impetus and Intent

1. Petroglyph National Monument protection

Councilor Benton Amendment Language (2011)

- Commercial: Grading permit tied to building permit
- Residential: Developments > 10 acres stabilize soil within 3 months

2. Special Assessment District (SAD) 228 blasting/construction

Proposed language (December 2013)

- Commercial + Mixed Use + Residential: Grading permit tied to building permit
- Residential: Developments > 10 acres stabilize soil within 3 months



February 13, 2014

Volcano Mesa Text Amendments - EPC

8

Fugitive Dust: History, Impetus and Intent

1. Petroglyph National Monument protection
Councilor Benton Amendment Language (2011)
 - Commercial: Grading permit tied to building permit
 - Residential: Developments > 10 acres stabilize soil within 3 months
2. Special Assessment District (SAD) 228 blasting
Proposed language (December 2013)
 - Commercial + Mixed Use + Residential: Grading permit tied to building permit
 - Residential: Developments > 10 acres stabilize soil within 3 months
3. City Environmental Health & Hydrology enforcement issues
Revised language (February 2014)
 - **Existing Regulations**: Fugitive Dust Ordinance, Drainage Ordinance, & Flood Hazard Control Ordinance
 - **Commercial + Mixed Use**: Grading permit tied to building permit
 - **Residential**: Grading permit tied to approved plat and Erosion & Settlement Control Plan

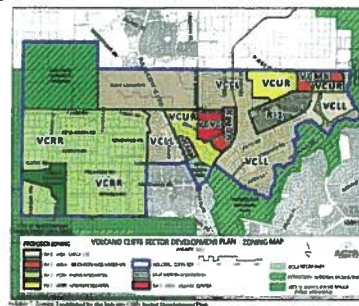
February 13, 2014

Volcano Mesa Text Amendments - EPC

9

Volcano Cliffs SDP: Walls in SU-2/VCRR (Volcano Cliffs Rural Residential)

1. Volcano Cliffs Property Owners Association request
2. Walls to create enclosed outdoor area allowed if:
 - Attached to main dwelling.
 - Not in building setbacks.
 - Materials complement main dwelling
 - Color per General Regulations.
 - Total area limited to larger of:
 - 1,000 SF or
 - 50% total SF of main dwelling (up to 2,000 SF)



February 13, 2014

Volcano Mesa Text Amendments - EPC

10

Volcano Mesa Plans: Other Issues

[Note: Numbers
in brackets refer to
Spreadsheet of
Comments]

- Multi-use trails on Unser Boulevard and Paseo del Norte [5, 6]
- Cross sections for Paseo del Norte [7]
- 'A' vs. 'B' Street Designation for Paseo del Norte and Unser Blvd. [27]



February 13, 2014

Volcano Mesa Text Amendments - EPC

11

Volcano Mesa Text Amendments: Contact

Mikaela Renz-Whitmore
Long-range Planner – Planning Dept.
mrenz@cabq.gov
505-924-3932



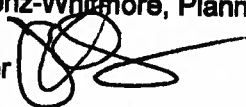
February 13, 2014

Volcano Mesa Text Amendments - EPC

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Memorandum

To: Mikaela Renz-Whitmore, Planner
From: Jim Strozier 
Date: March 13, 2014
Re: Proposed Amendments to the Volcano Trails Sector Plan

The purpose of this memo is to provide comments and suggestions regarding the proposed amendments to the above referenced Sector Plan. These comments are being provided on behalf of The Trails, LLC; Real Capital Solutions; and DR Horton, Inc. These entities control a majority (over 90 percent) of the vacant land controlled by the Volcano Trails Sector Development Plan.

1. Stucco – Please amend pages 44 and 49 to remove the requirement for "integral color" for stucco, see attached redline. many builders use a variety of products that are preferred by their customers, have lower maintenance costs, and provide a more consistent color.

Page 44

1. **Exterior Finishes.** Building walls shall be stucco, masonry, adobe, and/or native stacked stone (or synthetic equivalent). Plain CMU block, wood, and/or reflective panels shall not be used as an exterior finish. Stucco and concrete shall have integral color or a final stucco coat with a painted surface. Veneer materials shall extend around exterior corners at least one foot. Brick coping and trims are encouraged. Steel and synthetic wood substitutes are permitted for trim and detailing.

Page 58

In any residential area, Exterior building colors shall have a "light reflective value" (LRV) within the range of 20% to 50% LRV rating. Stucco and other materials with colors similar to those illustrated in Exhibit 18 may be used, as long as they have integral color color or a final stucco coat with a painted surface and meet the standards for reflectivity and harmony with the natural landscape. (See Chapter 3 Section II – General Standard B.1. for more details about Exterior Finishes permitted by the Plan.)

2. RD vs. VTRD – Tract 8 and Valle Vista, RD to VTRD - We are ok with this change provided that the land development requirements do not apply, but the house design standards are applicable. Will allow for platting and replatting of these tracts consistent with the existing infrastructure already constructed.
3. Woodmont – We support reclassification of Woodmont to a minor arterial. We understand that the City will request the reclassification by MRCOG, so it makes sense to support that and be consistent with that request with the Sector Plan.

Based on the planned typical section and right-of-way Woodmont qualifies as a Minor Arterial. Existing portions of the roadway to the north and to the East are constructed to Minor Arterial

standards. As planned the remaining portions within The Trails will consist of 4 lanes with on-street bike lanes and a pedestrian trail. At the intersections of Paseo Del Norte and Rainbow Blvd. the roadway will have medians and turn bays and traffic signals. The right-of-way has already been dedicated and has a minimum width of 98' and widens to 118' at the intersection of Paseo del Norte, meeting or exceeding Minor Arterial standards.

Attached is a copy of the Bulk Plat for Unit 3a of The Trails showing the dedicated right-of-way for Woodmont Avenue.

4. Driveway width – We support the proposed amendment to the required maximum drivepad width to 14 feet. We would also request that the narrow driveway cut restriction only apply to lots less than 48 feet in width. For wider lots, the standard drivepad width is more appropriate.
5. Drainage/Dust Control – We are in agreement with the discussion and points raised by Hugh Floyd at the EPC Hearing. Our primary concern is that the City regulations and the Sector Plans do not conflict with each other and provide confusion.
6. General Standards/Residential Garages – Please see the attached redline changes to pages 46 and 47.

Please do not hesitate to contact me at 764-9801 if you have any questions or require any additional information.

c: Rick Beltramo, The Trails, LLC
Patrick Leslie, DR Horton Homes
Hugh Floyd, Easterling Consultants representing Real Capital Solutions

Chapter 3

II - General Standards

8. Residential Garages.

a. Access

- i. Where alleys are available, residential garages shall be accessed via the alley. ~~On streets designated Collector or lower residential garages on corner lots shall be accessed from an alley or side street.~~
- ii. Where allowed, ~~townhouses and~~ courtyard apartments shall use rear-loaded garages. *(40' or 35' for Townhouses)*
- iii. Front-loaded garages on residential lots less than *40'* feet wide shall be prohibited. Garages on these lots shall be either Garage Type A or D in Exhibit 17 per the standards in Table 3.
- iv. Lots equal to or greater than *40'* feet shall use any of the garage types in Exhibit 17 per the requirements in Table 3. *(35' for townhouses)*
- v. Front-loaded three-car garages are not permitted on lots equal to or less than *70* feet wide.
- vi. Garage Types D and F may be accessed from either front or side. *50 58*
- vii. Driveway access, including drive pad but exclusive of wings, is limited to 14 feet for Garage Types B, C, D, E, and F except where providing access from alleys, *less than applied to lots 40' wide or narrower.*
- viii. Where allowed, property owners intending to build garages on the property lot line shall submit a platted and filed maintenance easement agreement signed by the abutting property owner prior to being issued a building permit. *50*

b. Design

- i. The garage facade area shall not exceed 50% of the total front facade area, inclusive of porches, so that garages shall not dominate the front facade. *(How is this computed?)*
- ii. Three-car garages on lots greater than *58* feet wide shall have a third garage setback of *two (2)* feet minimum from the primary garage facade. *58*
- iii. Where there is no setback from the property line, gutters and downspouts shall drain to the street or water harvesting area to avoid impact to abutting lots.

II - General Standards

- iv. Individual garage bays shall be no greater than ¹⁶ feet wide. For garages with ^{three} multiple bays, all garage doors shall be divided into single bays separated by at least a 16-inch pier or column. *the third bay separated by at least a 16" pier or column.*
- v. The color of garage doors shall blend with or complement the exterior wall color in order to minimize the prominence of the garage door.
- vi. Garage Type D shall have a minimum of 5 linear feet of fenestration on the street façade and be articulated to resemble the main structure.

Garage Type	Front Yard Setback	Side Yard Setback	Rear Yard Setback
GREATER THAN 48 FEET	A, B, C, D, E, F	20' MINIMUM	5' MINIMUM
40 FEET TO 48 FEET	A, B, C, D, E, F	20' MINIMUM	NONE
LESS THAN 40 FEET (<i>8' for townhouse</i>)	A, B, C, E	20' MINIMUM	NONE

NOTE 1: Setbacks from the property line are regulated first by zone and secondarily by minimums specified above.

NOTE 2: Where setbacks apply to the garage door facade, setbacks shall be measured from the property line to the garage door.

NOTE 3: Garage Type D shall have a minimum of 5 linear feet of fenestration on the street façade and be articulated to resemble main structure.

NOTE 4: Garage Type F may be accessed from either front or side.

NOTE 5: Driveway access from street, including curb cut, is limited to 12 feet for Garage Types A, B, C, D, E, and F except where providing access from alleys.

NOTE 6: On streets designated Collector or lower, residential garages on corner lots shall be accessed from an alley or side street.

TABLE 3, GARAGE TYPES.

* See Exhibit 17, Garage Type Diagrams

Chapter 1

Introduction

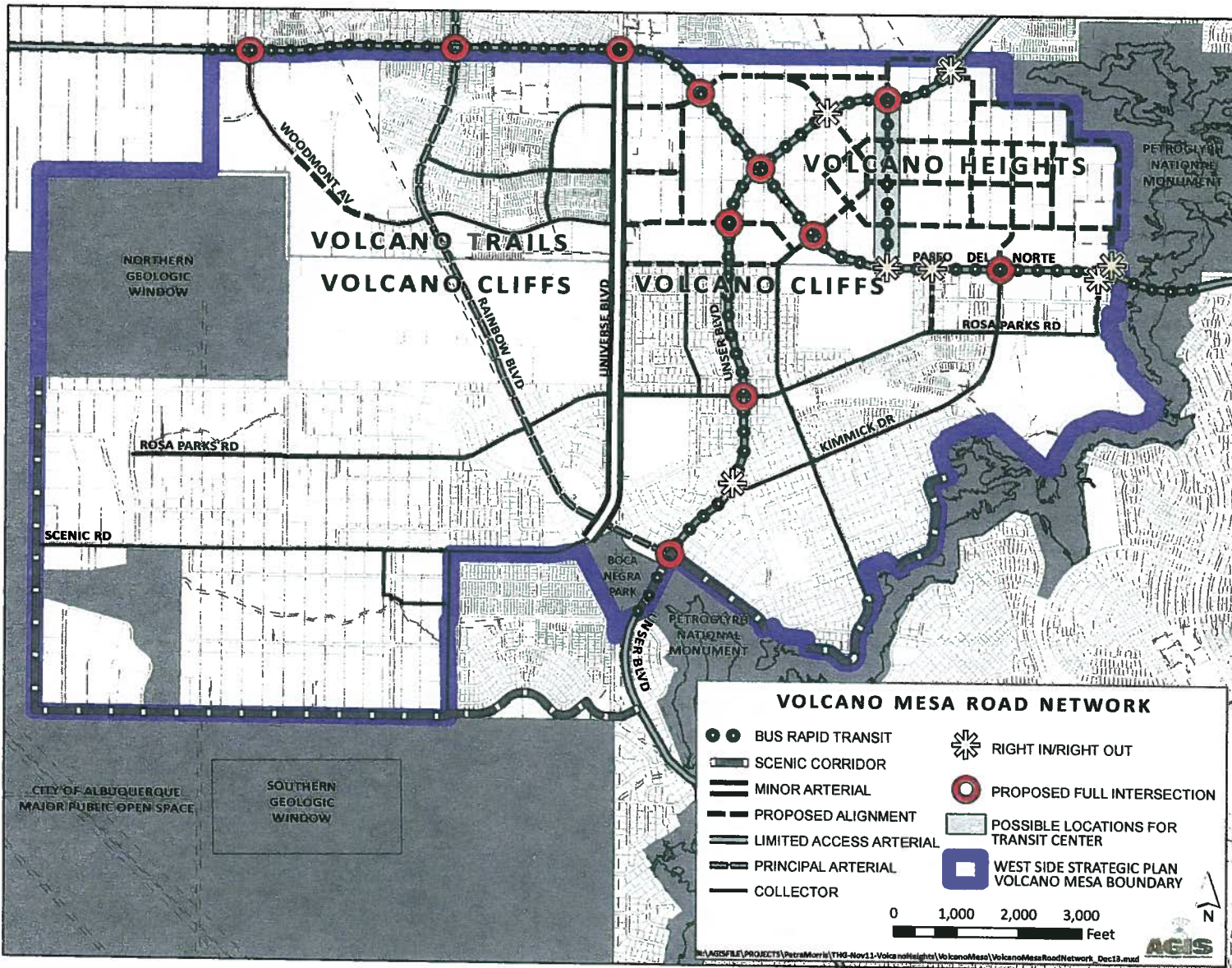


Exhibit 6, Proposed Volcano Mesa Road Network

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Chapter 3

I –Zoning

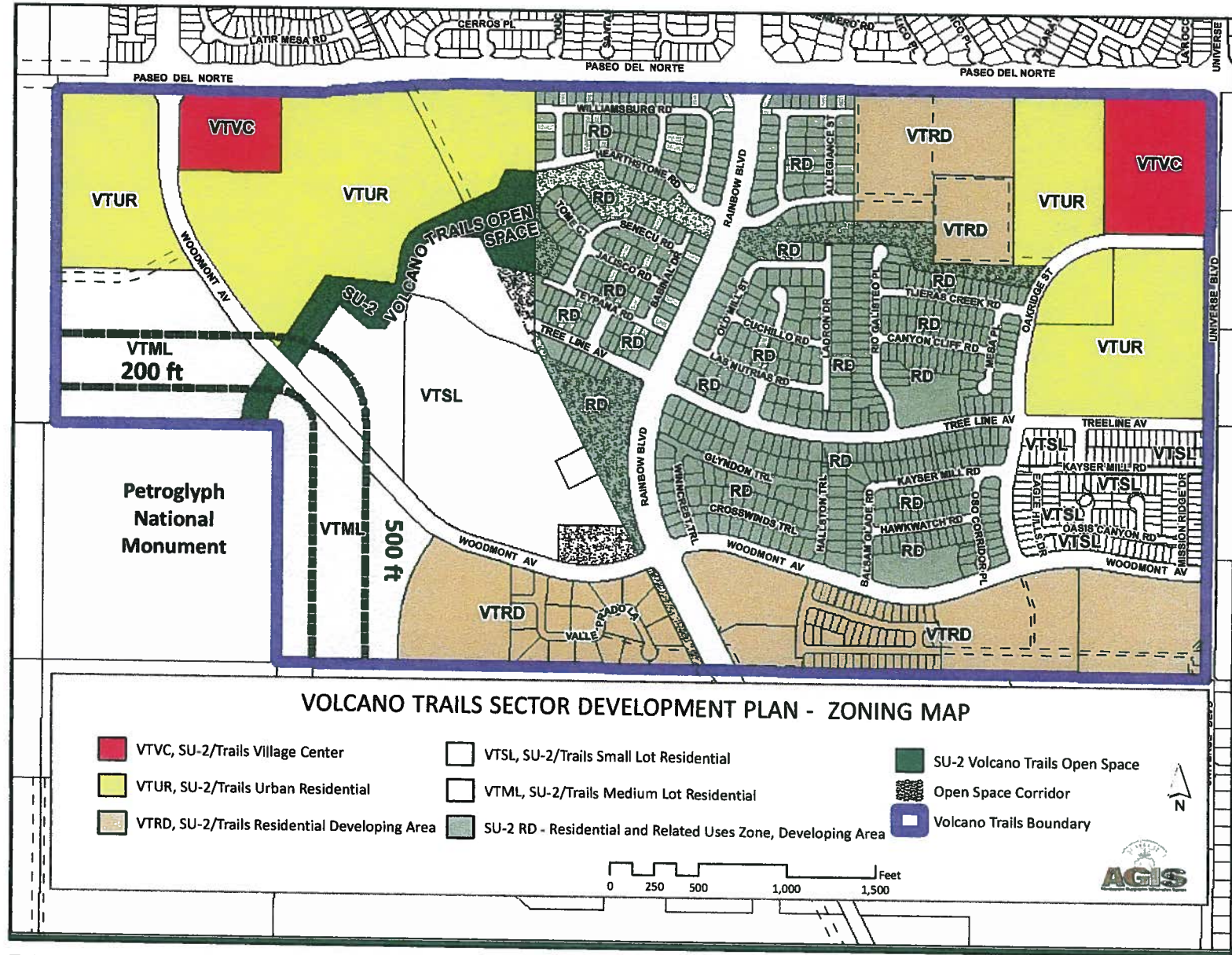


Exhibit 10, Zoning Established by the Volcano Trails Sector Development Plan

Chapter 3

II – General Standards

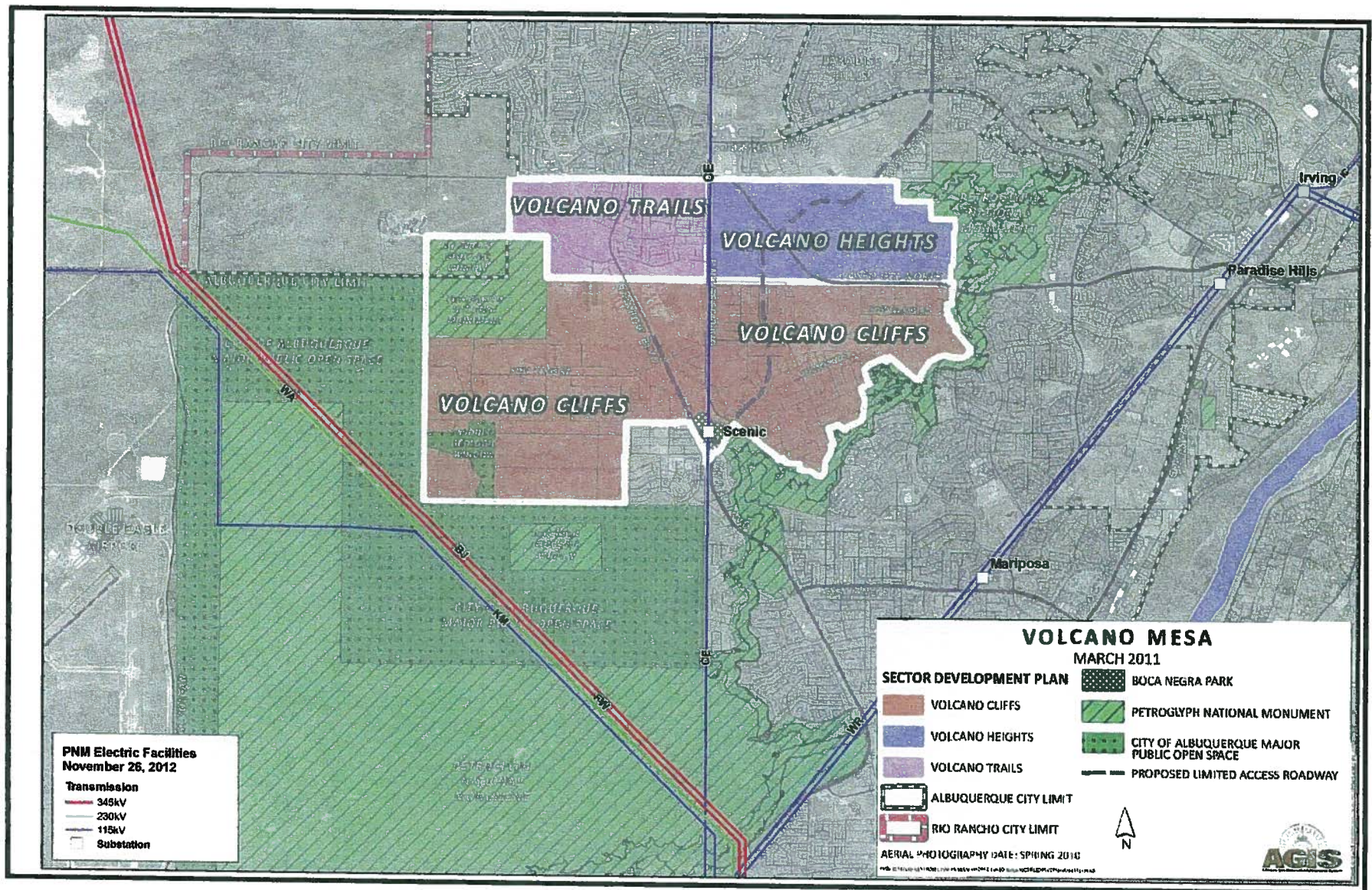


Exhibit 16, PNM Electric Facilities
[Updated to show Scenic facility]

Chapter 3

II – General Standards

8. ~~**Residential Garages.**~~ Garages shall not dominate the front façade. ~~Street-fronting garages shall be per the requirements of Table 3.~~ Garages shall not exceed 50% of the total front façade.
- a. ~~Garage doors shall be set back a minimum of 2 feet from the garage facade to create a “shadow box” that minimizes the prominence of the garage door.~~
 - b. ~~Three-car garages are not permitted on lots equal to or less than 48 feet wide. Three-car garages on lots greater than 48 feet wide shall have a third garage setback of 3 feet minimum from the primary garage façade.~~
 - c. ~~On lots less than 48 feet, property owners intending to build garages on the property lot line shall submit a platted and filed maintenance easement agreement signed by the adjacent property owner prior to being issued a building permit.~~
 - d. ~~The color of garage doors shall blend with or complement the exterior wall color in order to minimize the prominence of the garage door. See **B. Building Design Standards 9. Color** for additional requirements.~~
 - e. ~~See Table 3 for additional garage requirements.~~

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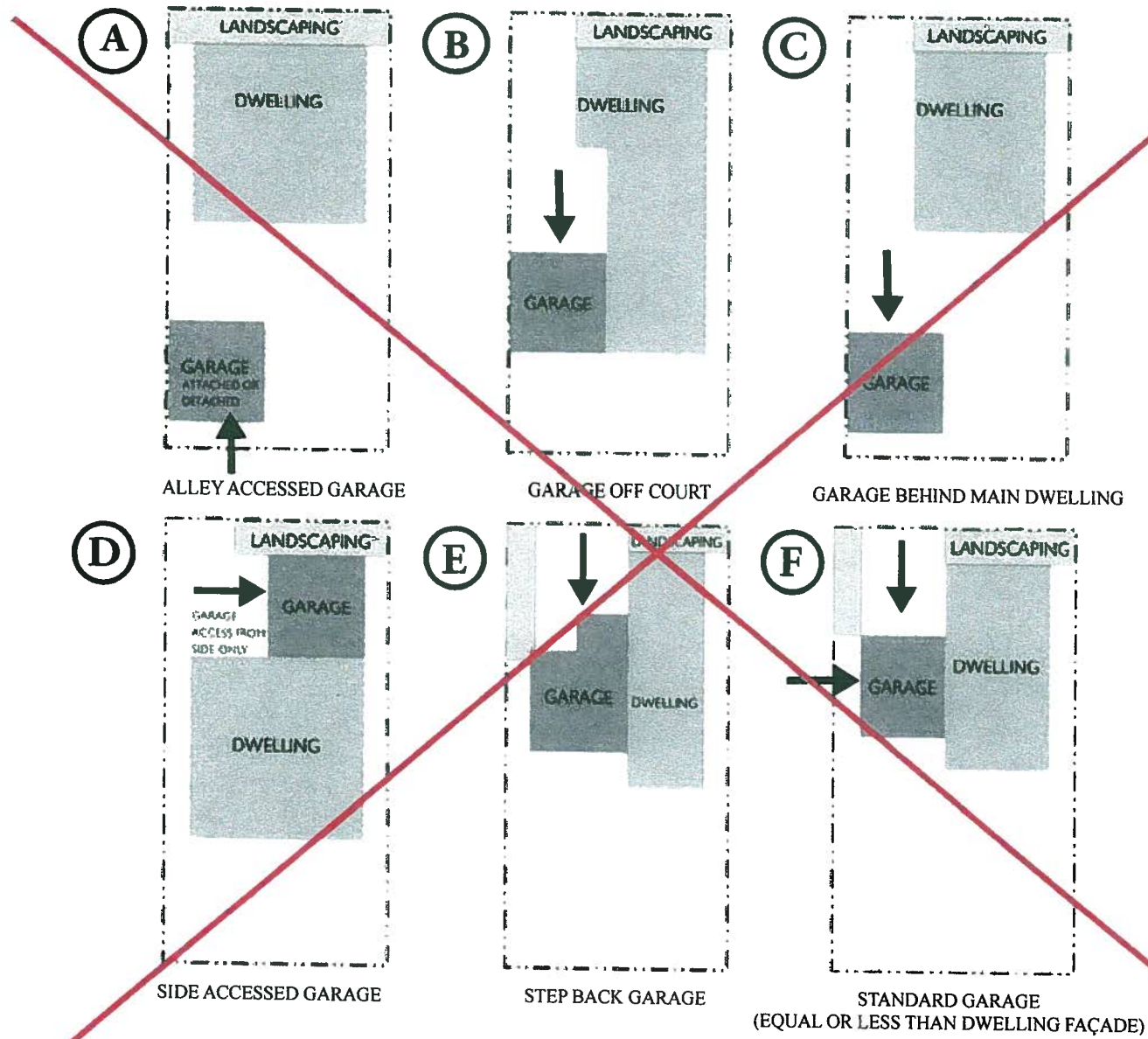


Exhibit 17, Garage Type Diagrams

Chapter 3

II – General Standards

8. Residential Garages.

a. Access

- i. Where alleys are available, residential garages shall be accessed via the alley. On streets designated Collector or lower, residential garages on corner lots shall be accessed from an alley or side street.
- ii. Where allowed, townhouses and courtyard apartments shall use rear-loaded garages.
- iii. Front-loaded garages on residential lots less than 40 feet wide shall be prohibited. Garages on these lots shall be either Garage Type A or D in **Exhibit 17** per the standards in **Table 3**.
- iv. Lots equal to or greater than 40 feet shall use any of the garage types in **Exhibit 17** per the requirements in **Table 3**.
- v. Front-loaded three-car garages are not permitted on lots equal to or less than 70 feet wide.
- vi. Garage Types D and F may be accessed from either front or side.
- vii. Driveway access, including drive pad but exclusive of wings, is limited to 14 feet for Garage Types B, C, D, E, and F except where providing access from **alleys**.
- viii. Where allowed, property owners intending to build garages on the property lot line shall submit a platred and filed maintenance easement agreement signed by the abutting property owner prior to being issued a building permit.

b. Design

- i. The garage façade area shall not exceed 50% of the total front façade area, inclusive of porches, so that garages shall not dominate the front façade.
- ii. Three-car garages on lots greater than 70 feet wide shall have a third garage setback of three (3) feet minimum from the primary garage façade.
- iii. Where there is no setback from the property line, gutters and downspouts shall drain to the street or water harvesting area to avoid impact to abutting lots.

II – General Standards

- iv. Individual garage bays shall be no greater than 12 feet wide. For garages with multiple bays, all garage doors shall be divided into single bays separated by at least a 16-inch pier or column.
- v. The color of garage doors shall blend with or complement the exterior wall color in order to minimize the prominence of the garage door.
- vi. Garage Type D shall have a minimum of 5 linear feet of fenestration on the street façade and be articulated to resemble the main structure.

LOT WIDTH	ALLOWABLE GARAGE TYPES	FRONT GARAGE SETBACK	SIDE GARAGE SETBACK	REAR GARAGE SETBACK
GREATER THAN 48 FEET	A, B, C, D, E, F	20' MINIMUM	5' MINIMUM	2' MINIMUM 5' MAXIMUM
40 FEET TO 48 FEET	A, B, C, D, E, F	20' MINIMUM	NONE	2' MINIMUM 5' MAXIMUM
LESS THAN 40 FEET	A, B, C, E	20' MINIMUM	NONE	2' MINIMUM 5' MAXIMUM

NOTE 1: Setbacks from the property line are regulated first by zone and secondarily by minimums specified above.

NOTE 2: Where setbacks apply to the garage door facade, setbacks shall be measured from the property line to the garage door.

NOTE 1: Garage Type D shall have a minimum of 5 linear feet of fenestration on the street façade and be articulated to resemble main structure.

NOTE 2: Garage Type F may be accessed from either front or side.

NOTE 3: Driveway access from street, including curb cut, is limited to 12 feet for Garage Types A, B, C, D, E, and F except where providing access from alleys.

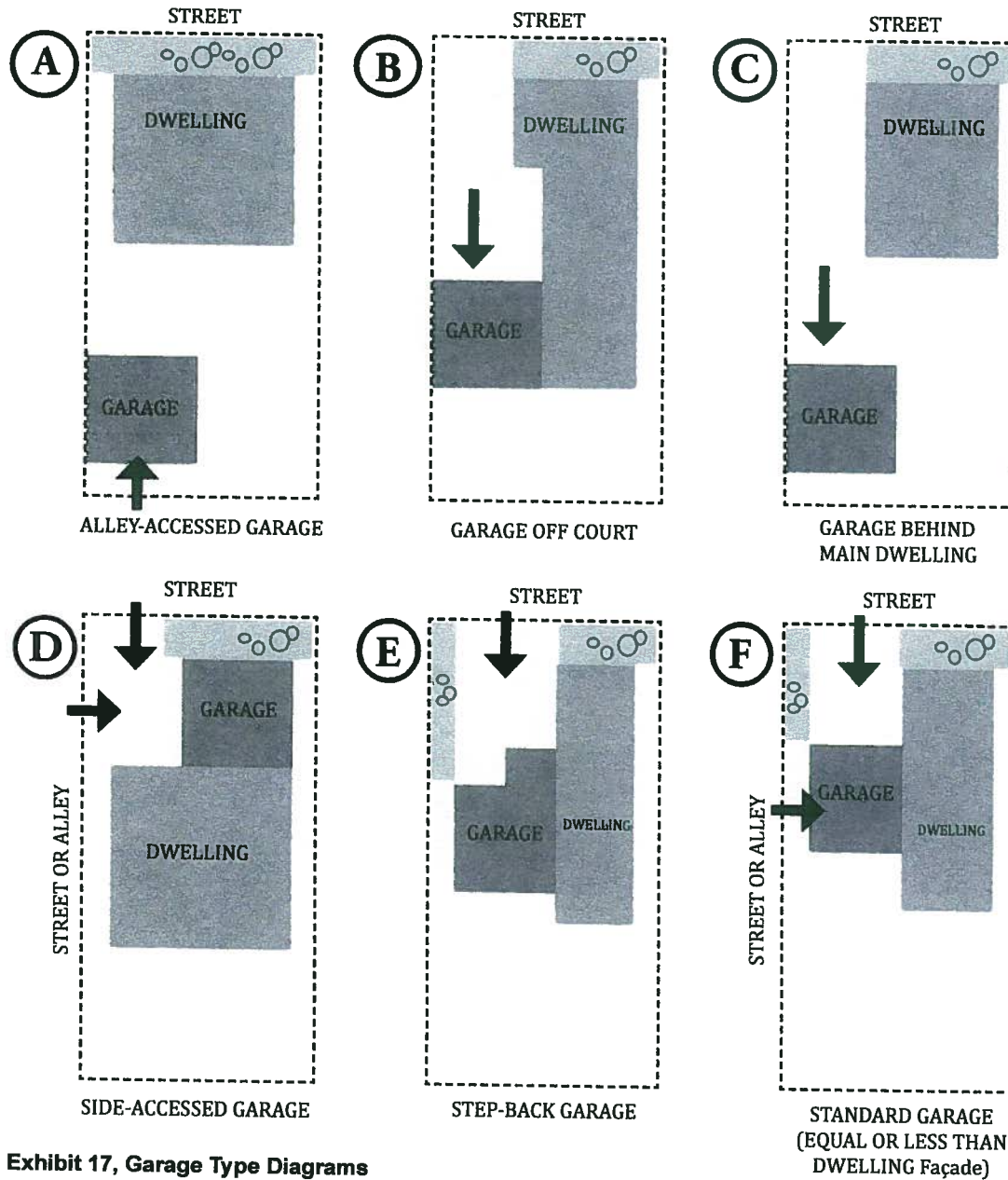
NOTE 4: On streets designated Collector or lower, residential garages on corner lots shall be accessed from an alley or side street.

TABLE 3, GARAGE TYPES.

* See Exhibit 17, Garage Type Diagrams

Chapter 3

II – General Standards



Note: Diagrams are for illustration only. Diagrams are not to scale. Setbacks are regulated first by zone and secondarily by minimums set in Table 3.

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II – General Standards

11. **Appropriate Plant Lists.** The purpose of regulating plants is to reduce water usage, maintain the character of native plants now existing in the Petroglyph National Monument, and provide a harmonious landscape image. ~~Plantings from the Two plant lists~~ shall guide landscaping within the Plan Area. Shrubs and trees shall be nursery grown. All properties in Volcano Trails more than 200 feet from public lands such as the Petroglyph National Monument, arroyos, and other Major Public Open Space shall use plants listed as ~~native or xeric from the plant list in Chapter 4 General Regulation B from Plant List A and/or B.~~ Land disturbed in development shall be re-vegetated using ~~native species from the the appropriate Plant List.~~ (See **Chapter 4 General Regulation C – Construction Mitigation Standard CM-5.**)
- a. ~~List A List A = Petroglyph National Monument Plant List.~~ These are plant species selected as appropriate from an inventory of species within the Petroglyph National Monument by the National Park Service in 1994-1995 ~~including almost 200 plants (amended).~~ This Plants listed as native in the plant list in **Chapter 4 General Regulation B** shall be used in specified areas as identified in Table 4 to limit impact of invasive and/or non-native plants on native vegetation.
- b. ~~List B = Xeric Plants List.~~ These plant species were selected as appropriate for Volcano Trails from ~~are~~ the official xeric or low-water use plant list of the Albuquerque Bernalillo County Water Utility Authority (ABCWUA). ~~The majority of the list is low and medium water-use plants. Some high-water-use plants are also listed in order to classify them as such in implementation of the water conservation program. This xeric plant list is extensive and updated periodically by the ABCWUA. Contact the ABCWUA to obtain the most current information.~~ (See contact information provided in Plants listed as xeric in the plant list in **Chapter 4 General Regulation B** shall be used in specified areas as identified in Table 4.

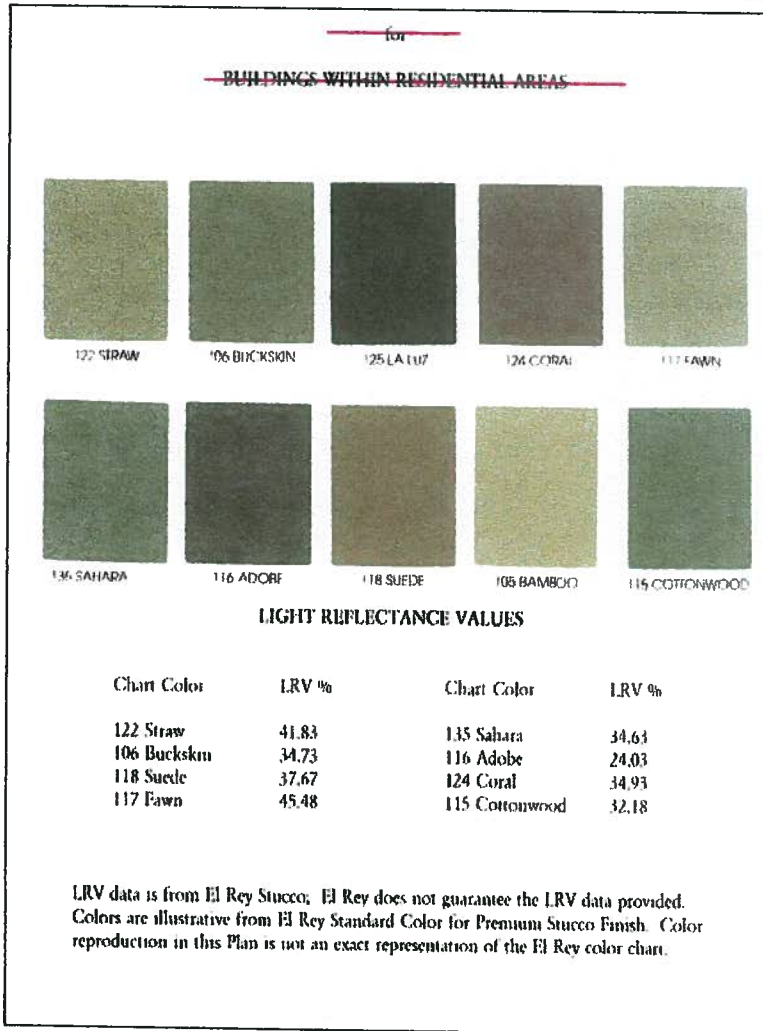
Areas/Zoning	Native	Xeric
Open Space Areas, Arroyos, Conservation Easements, SU-2 Volcano Trails Open Space	*	
SU-2/VTVC, SU-2/VTUR SU-2/VTRD, SU-2/VTSL SU-2/VTML, SU-2 RD	*	*
Scenic Corridors	*	
Other Roads		*
	* allowed	

TABLE 4, PERMITTED PLANT LIST

Chapter 4 – General Regulations

A – Approved Colors

APPROPRIATE COLORS FROM THE NATURAL LANDSCAPE



Exterior color and reflectivity standards for ~~buildings. residential areas~~

~~In any residential area,~~ Exterior ~~building~~ colors shall have a “light reflective value” (LRV) within the range of 20% to 50% LRV rating. Stucco and other materials with colors similar to those illustrated in **Exhibit 18** may be used, as long as they have integral color and meet the standards for reflectivity and harmony with the natural landscape. (See **Chapter 3 Section II – General Standard B.1.** for more details about Exterior Finishes permitted by the Plan.)

In keeping with New Mexico tradition, accent colors on front doors, window sash, and other incidental elements are allowed ~~up to 20% of a façade area~~ as long as the accent does not overwhelm the building’s basic color or create a visual distraction from the adjacent streets, lots, or public areas.

The sample colors illustrated in **Exhibit 18** are stucco with integrated color as manufactured by El Rey traditional cementitious stucco in Albuquerque. El Rey Premium Stucco Finish is a compound of cement, hydrated lime, sand aggregates, and iron oxide pigments. Since the stucco is integrally colored, it will never need to be painted. Like many natural landscapes, the traditional cement stucco is breathable and appears slightly different during each season and at alternate times of the day.

Exhibit 18, Sample Colors within Approved LRV Range

Chapter 4 – General Regulations

B – ~~Native~~ Plant List ~~A & Xeric Plant List B~~

TABLE 5 – PLANT LIST (TREES)

Scientific Name	Common Name	Native or Xeric	Deciduous or Evergreen	Approx. Height x Width at Maturity (in ft.)
<i>Cercocarpus ledifolius</i>	Curlleaf mountain mahogany	Xeric	Evergreen	12 x 8
<i>Chilopsis linearis</i>	Desert willow	Native	Deciduous	20 x 20
<i>Juniperus monosperma</i>	Oneseed juniper	Native	Evergreen	15 x 15
<i>Juniperus scopulorum</i>	Rocket Mountain juniper, female	Xeric	Evergreen	40 x 20
<i>Juniperus virginiana</i>	Juniper, female	Xeric	Evergreen	20 x 10
<i>Leucana retusa</i>	Golden ball leadtree	Xeric	Deciduous	15 x 15
<i>Melia azedarach</i>	Chinaberry	Xeric	Deciduous	25 x 20
<i>Prosopis glandulosa</i>	Honey mesquite	Xeric	Deciduous	25 x 30
<i>Prosopis pubescens</i>	Screwbean mesquite	Xeric	Deciduous	20 x 20
<i>Prosopis torreyana</i>	Western honey mesquite	Xeric	Deciduous	18 x 20
<i>Prosopis velutina</i>	Velvet mesquite	Xeric	Deciduous	20 x 25
<i>Quercus grisea</i>	Gray oak	Xeric	Evergreen	30 x 30
<i>Quercus suber</i>	Cork oak	Xeric	Evergreen	30 x 30
<i>Quercus turbinella</i>	Shrub live oak	Xeric	Evergreen	18 x 20
<i>Sambucus mexicana</i>	Mexican elder	Xeric	Deciduous	20 x 25
<i>Sapindus drummondii</i>	Western soapberry	Xeric	Deciduous	30 x 30
<i>Zizyphus jujuba</i>	Jujube	Xeric	Deciduous	25 x 25

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Chapter 4 – General Regulations

B – ~~Native~~ Plant List ~~A & Xeric Plant List B~~

TABLE 5 – PLANT LIST (SHRUBS)

Scientific Name	Common Name	Native or Xeric	Deciduous or Evergreen	Approx. Height x Width at Maturity (in ft.)
Agave sp.	Agave	Native	Evergreen	varies
Artemisia filifolia Torr	Sand sage	Native	Evergreen	3 x 3
Atriplex canescens	Fourwing saltbrush	Native	Deciduous	5 x 5
Brickellia californica	California brickellbush	Native	Deciduous	3 x 3
Dalea sp.	Purple sage	Native	Deciduous	5 x 5
Dasyilirion sp.	Sotol	Xeric	Evergreen	5 x 5
Fallugia paradoxa	Apache plume	Native	Deciduous	5 x 5
Fouquieria splendens	Ocotillo	Xeric	Deciduous	15 x 10
Krascheninnikovia lanata	Winterfat	Native	Deciduous	5 x 5
Nolina microcarpa	Beargrass	Xeric	Evergreen	5 x 6
Opuntia sp.	Prickly pear	Native	Evergreen	varies
Rhus trilobata	Skunkbush sumac	Native	Deciduous	3 x 3
Ribes sp.	Gooseberry	Native	Deciduous	5 x 3
Yucca.sp.	Yucca	Native	Evergreen	varies

Chapter 4 – General Regulations

B – ~~Native~~ Plant List ~~A & Xeric Plant List B~~

TABLE 5 – PLANT LIST (FORBS, GRASSES, AND GROUNDCOVERS)

Scientific Name	Common Name	Native or Xeric	Approx. Height x Width at Maturity (in inches)
<i>Abronia villosa</i>	Sand verbena	Native	1 x 4
<i>Andropogon saccharoides</i>	Silver beardgrass	Native	2.5 x 2
<i>Aristida purpurea</i>	Purple threeawn	Native	1 x 1
<i>Artemisia ludoviciana</i>	Prairie sage or white sagebrush	Native	3 x 3
<i>Asclepias speciosa</i>	Showy milkweeds	Native	2 x 3
<i>Baileya multiradiata</i>	Desert marigold	Native	varies
<i>Bouteloua curtipendula</i>	Sideoats grama	Native	2 x 1
<i>Bouteloua gracilis</i>	Blue grama	Native	1 x 1
<i>Bouteloua eriopoda</i>	Black grama	Native	1 x 1
<i>Elymus elymoides</i>	Bottlebrush squirreltail	Native	varies
<i>Eriogonum annuum</i>	Annual buckwheat	Xeric	1-5 x 2
<i>Gaillardia pulchella</i>	Firewheel	Native	varies
<i>Hilaria jamesii</i>	Galleta	Native	2 x 1
<i>Linum perenne lewisii</i>	Blue flax	Xeric	2 x 2
<i>Mirabilis</i> sp.	Four o'clock	Native	1 x 4
<i>Muhlenbergia porteri</i>	Bush muhly	Native	varies
<i>Oenothera</i> sp.	Evening primrose	Native	1.5 x 4
<i>Oryzopsis hymenoides</i>	Indian ricegrass	Native	varies
<i>Parthenium incanum</i>	Mariola	Native	varies
<i>Penstemon ambiguous</i>	Beardtongue	Native	2 x 1
<i>Phacelia integrifolia</i>	Scorpionflower	Native	1 x 1
<i>Philostrophe tectina</i> (also <i>Psilostrophe tectina</i>)	Paperflower	Native	3 x 3
<i>Sporobolus cryptandrus</i>	Sand dropseed	Native	varies
<i>Zinnia grandiflora</i>	Desert zinnia	Xeric	varies

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B – Native Plant List A & Xeric Plant List B

Native Plant List A

List of Plant Species of Petroglyph National Monument - Plants found by Bleakly during survey from August 1994 through September 1995. One hundred and ninety-two (192) plants from 40 families were identified. Arrangement is alphabetical by family, genus, and species with some synonyms and common names. An asterisk (*) before the name indicates plants listed in Barlow-Irick (1993). Nomenclature according to Kartesz (1994). Common names from various sources. Number of species in each family are in parentheses after family name. A "pound sign" (#) indicates that a voucher is housed at the UNM Herbarium.

ADIANTACEAE Maidenhair Fern Family (1)

Cheilanthes feei T. Moore **SLENDER LIPFERN #**

AGAVACEAE Agave or Yucca Family (1)

Yucca glauca Nutt. **SMALL SOAPWEED**

AMARANTHACEAE Pigweed Family (3)

Amaranthus acanthochiton Sauer **GREENSTRIPE #**

Amaranthus wrightii S. Wats. **WRIGHT'S AMARANTH #**

Tidestromia lanuginosa (Nutt.) Standl. **WOOLLY TIDESTROMIA**

ANACARDIACEAE Sumac Family (1)

Rhus trilobata Nutt. **SKUNKBUSH, SKUNKBUSH SUMAC**

APIACEAE (=UMBELLIFERAE) Parsley or Carrot Family (1)

Cymopterus acaulis (Pursh) Raf. var. *fendleri* (Gray)

Goodrich (*Cymopterus fendleri* Gray) **FENDLER SPRINGPARSLEY #**

ASCLEPIADACEAE Milkweed Family (1)

Asclepias subverticillata (Gray) Vail **WHORLED MILKWEED**

ASTERACEAE (=COMPOSITAE) Sunflower Family (42)

Acourtia nana (Gray) Reveal & King (*Perezia nana* Gray) **DWARF**

DESERT HOLLY, DWARF DESERTPEONY #

Aphanostephus ramosissimus DC. **PLAINS DOZEDAISY #**

Artemisia bigelovii Gray **BIGELOW'S SAGEBRUSH #**

Artemisia filifolia Torr. **SANDSAGE, SAND SAGEBRUSH**

Artemisia frigida Willd. **FRINGED SAGE**

Artemisia ludoviciana Nutt. ssp. *albula* (Woot.) Keck **WHITE SAGEBRUSH #**

* *Bahia absinthifolia* Benth. #

* *Bahia dissecta* (Gray) Britt.

Bahia pedata Gray **BLUNTSCALE BAHIA #**

Baileya multiradiata Harvey & Gray ex Gray **DESERT MARIGOLD #**

* *Berlandiera lyrata* Benth.

Brickellia californica (Torr. & Gray) Gray **CALIFORNIA BRICKELLBUSH #**

Chaetopappa ericoides (Torr.) Nesom (*Leucelene ericoides* (Torr.) Greene)

WHITE ASTER

* *Chrysothamnus nauseosus* (Pallas ex Pursh) Britt. ssp. *bigelovii* (Gray) Hall & Clements #

Chrysothamnus pulchellus (Gray) Greene ssp. *pulchellus*

SOUTHWESTERN RABBITBRUSH #

Conyza canadensis (L.) Cronq. **CANADIAN HORSEWEED**

* *Gaillardia pinnatifida* Torr. #

Gaillardia polchella Foug. **FIREWHEEL**

Gutierrezia sarothrae (Pursh) Britt. & Rusby **BROOM SNAKEWEED #**

Helianthus petiolaris Nutt. **PRAIRIE SUNFLOWER**

Hymenopappus flavescens Gray var. *canotomentosus* Gray **YELLOW-FLOWERED WHITE RAGWEED, COLLEGEFLOWER #**

Macheraanthera canescens (Pursh) Gray **HOARY TANSYASTER #**

* *Macheraanthera gracilis* (Nutt.) Shinnars (*Haplopappus gracilis* (Nutt.) Gray) #

Macheraanthera pinnatifida (Hook.) Shinnars (*Haplopappus spinulosus* (Pursh) DC.) **LACY TANSYASTER**

Malacothrix fendleri Gray **FENDLER DESERTDANDELION #**

Melampodium leucanthum Torr. & Gray **PLAINS BLACKFOOT #**

* *Microseris* sp. *Palafoxia sphacelata* (Nutt. ex Torr.) Cory **OTHAK #**

Parthenium incanum Kunth **MARIOLA #**

Pectis angustifolia Torr. var. *angustifolia* **NARROWLEAF PECTIS #**

Psilostrophe tagetina (Nutt.) Greene **WOOLLY PAPERFLOWER**

Sanvitalia abertii Gray **ABERT'S CREEPING ZINNIA #**

Chapter 4 – General Regulations

B – Native Plant List A & Xeric Plant List B

Senecio flaccidus Less. var. *flaccidus* (*Senecio douglasii* DC. ssp. *longilobus* (Benth.) L. Benson THREADLEAF GROUNDSEL #

Senecio multicapitatus Greenm. ex Rydb. RAGWORT GROUNDSEL #

Senecio riddellii Torr. & Gray RIDDELL'S RAGWORT OR GROUNDSEL #

Stephanomeria pauciflora (Torr.) A. Nels. BROWNPLUME WIRELETTUCE #

Thelesperma megapotamicum (Spreng.) Kunze HOPI TEA, GREENTHREAD

Thymophylla acerosa (DC.) Strother (*Dyssodia acerosa* DC.) PRICKLYLEAF DOGWEED #

Verbesina encelioides (Cav.) Benth. & Hook. f ex Gray

GOLDENCROWNBEARD, COWPEN DAISY

Xanthium strumarium L. COCKLEBUR

Zinnia grandifolia Nutt. ROCKY MOUNTAIN ZINNIA #

BIGNONIACEAE Bignonia Family (1)

Chilopsis linearis (Cav.) Sweet DESERT WILLOW

BORAGINACEAE Borage Family (4)

Cryptantha cinerea (Greene) Cronq. var. *cinerea* (*C. jamesii* Payson var. *multicaulis* (Torr.) Payson) JAMES' CATSEYE #

Cryptantha crassisepta (Torr. & Gray) Greene var. *elachantha* I.M. Johnst. THICKSEPAL CATSEYE #

Heliotropium convolvulaceum (Nutt.) Gray PHLOX HELIOTROPE

Lappula occidentalis (S. Wats.) Greene var. *occidentalis* (L. redowskii (Hornem.) Greene) FLATSPINE STICKSEED #

BRASSICACEAE (=CRUCIFERAE) Mustard Family (7)

Descurainia pinnata (Walt.) Britt. WESTERN TANSYMUSTARD #

Dimorphocarpa wislizenii (*Dithyrea wislizenii*)

SPECTACLE POD, TOURISTPLANT

Lepidium lasiocarpum Nutt. var. *lasiocarpum* SHAGGYFRUIT PEPPERWEED #

* *Lepidium montanum* Nutt.

Lesquerella fendleri (Gray) S. Wats. FENDLER BLADDERPOD #

CACTACEAE Cactus Family (6)

Echinocereus fendleri (Engelm.) F. Seitz PINKFLOWERED

HEDGEHOG CACTUS

Escobaria vivipara (Nutt.) Buxbaum (*Coryphantha vivipara* (Nutt.) Britt. & Rose) SPINYSTAR

Opuntia clavata Engelm. CLUB CHOLLA

Opuntia imbricata (Haw.) DC. TREE or WALKINGSTICK CHOLLA

Opuntia phaeacantha Engelm. BROWNSPINE PRICKLYPEAR

Opuntia polyacantha Haw. PLAINS PRICKLYPEAR

CAPPARACEAE Caper Family (1)

Polanisia dodecandra (L.) DC. ssp. *trachysperma* (Torr. & Gray) Ilitis

SANDYSEED CLAMMYWEED #

CHENOPODIACEAE Goosefoot Family (5)

Atriplex canescens (Pursh) Nutt. FOURWING SALTBUCH

* *Chenopodium dessicatum* A. Nels. #

Chenopodium fremontii S. Wats. FREMONT'S GOOSEFOOT #

Krascheninnikovia lanata (Pursh) Guldenstaedt (*Ceratoides lanata* (Pursh)

J.T. Howell; *Eurotia lanata* (Pursh) Moq.) WINTERFAT

CUCURBITACEAE Gourd Family (1)

Cucurbita foetidissima Kunth COYOTE or MISSOURI GOURD

CUPRESSACEAE Cypress Family (1)

Juniperus monosperma (Engelm.) Sarg. ONESEED JUNIPER

EPHEDRACEAE Jointfir Family (1)

Ephedra torreyana S. Wats. TORREY JOINTFIR or MORMON TEA #

Chapter 4 – General Regulations

B – Native Plant List A & Xeric Plant List B

EUPHORBIACEAE Spurge Family (7)

Chamaesyce parryi (Engelm.) Rydb. PARRY'S SANDMAT or SPURGE #
Chamaesyce torreyi (Pers.) Small THYMELEAF SANDMAT or SPURGE #
Chamaesyce serrula (Engelm.) Woot. & Standl. SAWTOOTH SANDMAT or SPURGE #
Croton texensis (Klotzsch) Muell.-Arg. TEXAS CROTON #
Euphorbia dentata Michx. TOOTHED SPURGE #
* *Tragia amblyodonta* (Muell.-Arg.) Pax & K. Hoffmann
Tragia ramosa Torr. BRANCHED NOSEBURN

FABACEAE (=LEGUMINOSAE) Bean or Pea Family (14)

Astragalus amphioxys Gray var. *amphioxys* CRESCENT MILKVETCH #
Astragalus ceramicus Sheld. var. *ceramicus* PAINTED MILKVETCH #
Astragalus lentiginosus Dougl. var. *diphysus* (Gray) Jones SPECKLEDPOD MILKVETCH #
Astragalus nuttallianus DC. SMALLFLOWERED MILKVETCH #
Caesalpinia jamesii (Torr. & Gray) Fisher JAMES' HOLDBACK
Dalea compacta Spreng. var. *compacta* COMPACT PRAIRIECLOVER #
Dalea formosa Torr. FEATHERPLUME
Dalea lanata Spreng. var. *terminalis* (Jones) Barneby WOOLLY PRAIRIECLOVER #
Dalea nana Torr. ex Gray var. *carnescens* Kearney & Peebles DWARF PRAIRIECLOVER #
Dalea scariosa S. Wats. (*Petalostemon scariosa* (S. Wats.) Wemple)
ALBUQUERQUE PRAIRIECLOVER #
Hoffmannsegia glauca (Ortega) Eifert INDIAN RUSHPEA
Pediomelum hypogaeum (Nutt.) Rydb. (*Psoralea hypogaea* Nutt.) SCURFPEA #
Psoralea scoparius (Gray) Rydb. (*Dalea scoparia* Gray) BROOM

DALEA; PURPLE SAGE

FUMARIACEAE Fumitory Family (1)

Corydalis aurea Willd. GOLDEN CORYDALIS, SCRAMBLED EGGS, GOLDENSMOKE, BUTTER AND EGGS

GROSSULARIACEAE Gooseberry Family (1)

Ribes sp. GOOSEBERRY

HYDROPHYLLACEAE Waterleaf Family (4)

Nama hispida Gray BRISTLY NAMA
Phacelia crenulata Torr. var. *crenulata* CLEFTLEAF WILDHELIOSTROPE #
Phacelia integrifolia Torr. GYPSUM SCORPIONWEED #
Phacelia ivesiana Torr. IVES PHACELIA #

LINACEAE Flax Family (2)

Linum aristatum Engelm. BRISTLE FLAX
* *Linum australe* Heller #

LOASACEAE Stickleaf Family (2)

Mentzelia albicaulis (Dougl.) Dougl. WHITESTEM BLAZINGSTAR
Mentzelia pumila (Nutt.) Torr. & Gray DWARF MENTZELIA #

MALVACEAE Mallow Family (5)

Sida abutilifolia P. Mill. (*Sida filicaulis* Torr. & Gray)
SPREADING FANPETALS #
* *Sida neomexicana* Gray
Spheralcea angustifolia (Cav.) G. Don ssp. *lobata* (Woot.) Kearney
COPPER GLOBEMALLOW #
Spheralcea hastulata Gray (*Spheralcea subhastata* Coult.)
SPEAR GLOBEMALLOW #
Spheralcea incana Torr. ex Gray GRAY GLOBEMALLOW #

NYCTAGINACEAE Four O'clock Family (7)

Abronia fragrans Nutt. ex Hook. FRAGRANT WHITE SAND VERBENA
* *Allionia choysia* Standl. #
Allionia incarnata L. TRAILING WINDMILLS #
Boerhavia spicata Choisy (*B. torreyana* (S. Wats.) Standl.) CREEPING SPIDERLING

* *Mirabilis glabra* (S. Wats.) Standl. (*Oxybaphus glaber* S. Wats.) #
Mirabilis linearis (Pursh) Heimerl NARROWLEAF FOUR O'CLOCK
Selinocarpus diffusus Gray SPREADING MOONPOD #

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OLEACEAE Olive Family (1)

Menodora scabra Gray ROUGH MENODORA

ONAGRACEAE Evening Primrose Family (2)

Gaura coccinea Nutt. ex Pursh SCARLET BEEBLOSSOM

Oenothera pallida Lindl. PALE EVENINGPRIMROSE #

OROBANCHACEAE Broomrape Family (1)

Orobancha ludoviciana Nutt. (*O. multiflora* Nutt.) LOUISIANA BROOMRAPE #

PEDALIACEAE Sesame Family (1)

Proboscidea louisianica (P. Mill.) Thelleng COMMON DEVILSCRAW, DEVILSHORN, RAM'S HORN

PLANTAGINACEAE Plantain Family (1)

Plantago patagonica Jacq. (*P. purshii* Morris) WOOLLY PLANTAIN #

Plantago lanceolata L. NARROWLEAF PLANTAIN

POACEAE (=GRAMINAE) Grass Family (42)

Aristida adscensionis L. SIXWEEKS THREEAWN #

* *Aristida arizonica* Vasey

Aristida havardii Vasey HAVARD'S THREEAWN #

* *Aristida pansa* Woot. & Standl.

Aristida purpurea Nutt. var. *fendleriana* (Steud.) Vasey

FENDLER'S THREEAWN #

* *Aristida purpurea* Nutt. var. *nealleyi* (Vasey) Allred #

* *Aristida purpurea* Nutt. var. *purpurea* #

* *Bothriochloa barbinodis* (Lag.) Herter #

Bothriochloa laguroides (DC.) Herter ssp. *torreyana* (Steud.) Allred & Gould

(*Andropogon saccharoides* Sw.) SILVER BEARDGRASS or SILVER BLUESTEM #

Bouteloua aristoides (H.B.K.) Griseb. var. *aristoides* NEEDLE GRAMA #

Bouteloua barbata Lag. var. *barbata* SIXWEEKS GRAMA #

Bouteloua curtipendula (Michx.) Torr. SIDEOATS GRAMA

Bouteloua eriopoda (Torr.) Torr. BLACK GRAMA #

Bouteloua gracilis (Willd. ex Kunth) Lag. ex Griffiths BLUE GRAMA

Bouteloua hirsuta Lag. HAIRY GRAMA

* *Cenchrus carolinianus* Walt. (*Cenchrus incertus* M.A. Curtis)

* *Digitaria californica* (Benth.) Henr. #

Elymus elymoides (Raf.) Swezey (*Sitanion hystrix* (Nutt.) J.G. Sm.; *Elymus*

longifolius (J.G. Sm.) Gould) SQUIRRELTAIL #

Enneapogon desvauxii Beauv. NINEAWN PAPPUSGRASS #

Erioneuron pulchellum (Kunth) Tateoka (*Dasyochloa pulchella* (Kunth) Willd.

ex Rydb.) FLUFFGRASS, LOW WOOLLYGRASS #

Hilaria jamesii (Torr.) Benth. (*Pleuraphis jamesii* Torr.) GALLETA #

* *Koeleria macrantha* (Ledeb.) J.A. Schultes

(*Koeleria cristata* auct. p.p. non Pers.)

* *Lycurus phleoides* Kunth

Monroa squarrosa (Nutt.) Torr. (*Munroa squarrosa* (Nutt.) Torr.)

FALSE BUFFALOGRASS #

* *Muhlenbergia tenacea* (Buckl.) A.S. Hitchc.

Muhlenbergia arenicola Buckl. SAND MUHLY #

Muhlenbergia porteri Scribn. BUSH MUHLY #

Muhlenbergia pungens Thurb. SANDHILL MUHLY #

Muhlenbergia torreyi (Kunth) A.S. Hitchc. ex Bush RING MUHLY

Oryzopsis hymenoides (Roemer & J.A. Schultes)

Ricker ex Piper INDIAN RICEGRASS

* *Poa bigelovii* Vasey & Scribn.

Scleropogon brevifolius Phil. BURROGRASS #

Setaria leucopila (Scribn. & Merr.) K. Schum.

STREAMBED BRISTLEGRASS #

* *Setaria lutescens* (Weigel) F.T. Hubbard ?

Sporobolus contractus A.S. Hitchc. SPIKE DROPSEED

Sporobolus cryptandrus (Torr.) Gray SAND DROPSEED #

* *Sporobolus flexuosus* (Thurb. ex Vasey) Rydb. #

Sporobolus giganteus Nash GIANT DROPSEED #

Stipa comata Trin & Rupr. var. *comata* NEEDLEANDTHREAD #

* *Stipa neomexicana* (Thurb. ex Coult.) Scribn.

Stipa spartea Trin. PORCUPINEGRASS #

Vulpia octoflora (Walt.) Rydb. (*Festuca octoflora* Walt.)

SIXWEEKS FESCUE #

Chapter 4 – General Regulations

B – Native Plant List A & Xeric Plant List B

POLEMONIACEAE Phlox Family (1)

Ipomopsis pumila (Nutt.) V. Grant DWARF GILIA #

POLYGONACEAE Knotweed Family (4)

Eriogonum abertianum Torr. var. *abertianum* ABERT BUCKWHEAT #

* *Eriogonum effusum* Nutt.

Eriogonum polycladon Benth. SORREL BUCKWHEAT #

Eriogonum rotundifolium Benth. ROUNDLEAF BUCKWHEAT #

Rumex hymenosepalus Torr. CANAIGRE DOCK #

PORTULACACEAE Purslane Family (1)

Portulaca sp. PURSLANE

RANUNCULACEAE Crowfoot Family (1)

Delphinium sp. LARKSPUR

ROSACEAE Rose Family (1)

Fallugia paradoxa (D. Don) Endl. ex Torr. APACHE PLUME

SALICACEAE Willow Family

Salix sp. WILLOW

SCROPHULARIACEAE Figwort Family (3)

Epixiphium wislizenii (Engelm. ex Gray) Munz (*Maurandya wislizenii*

Engelm. ex Gray) BALLOONBUSH #

Penstemon ambiguus Torr. GILIA PENSTEMON or BEARDTONGUE

* *Penstemon* sp.

SOLANACEAE Potato Family (3)

Chamaesaracha coronopus (Dunal) Gray GREENLEAF FIVE EYES #

Datura innoxia P. Mill. THORNAPPLE; JIMSONWEED #

Lycium pallidum Miers PALE WOLFBERRY

Nicotiana trigonophylla Dunal DESERT TOBACCO #

Physalis acutifolia (Miers) Sandw. (*P. wrightii* Gray) SHARPLEAF

GROUNDCHERRY #

Solanum elaeagnifolium Cav. SILVERLEAF NIGHTSHADE

VERBENACEAE Vervain Family (2)

Aloysia wrightii Heller ex Abrams WRIGHT'S BEEBRUSH #

* *Tetradlea coulteri* Gray #

ZYGOPHYLLACEAE Caltrop Family (2)

Kallstroemia sp. CALTROP

Xeric Plant List B

A list of official xeric or low-water plant species periodically updated by the Albuquerque Bernalillo County Water Utility Authority (ABCWUA).

To obtain the most current information, contact ABCWUA:

Telephone: 505-842-WATR

Website: <http://www.abcwua.org/pdfs/xeriplantlist.pdf>

For additional information, see ABCWUA's

How-To Guide to Xeriscaping:

<http://www.abcwua.org/content/view/full/63/>

Chapter 4 – General Regulations

C – Construction Mitigation

Any damage to the vegetation, slope, or placement of boulders due to or related to construction shall be mitigated as provided herein.

Standard CM-1: Grading permits shall only be issued concurrently with building permits for all non-residential and mixed-use developments, as well as residential developments over two lots. ~~Grading permits for commercial lot developments in the Volcano Trails Sector Development Plan area will be issued concurrently with the respective commercial building permits.~~ Grading permits for residential developments greater than 10 acres shall require soil stabilization, approved by the Environmental Health Department, which shall be applied to the disturbed area within three months after grading of the site commences. Grading within public rights-of-way or public drainage easements is exempt.

Standard CM-2: Prior to beginning construction, the property owner shall construct a temporary silt fence at the site boundary adjacent to sensitive lands (i.e. the Escarpment Buffer, Major Open Space Area, archeological site, or public or private conservation area to be maintained in natural desertscape) to effectively protect them from heavy equipment and vehicles. Photographs of the site in its original condition shall be submitted with the application for building permit and subdivision and/or site development plan.

Standard CM-3: Public- and private-sector projects facing the Escarpment and adjacent to archeological sites must include geotechnical data and analysis that demonstrate to the satisfaction of the City Engineer that proposed trenching or blasting will not affect the face of the Escarpment, whether by potentially causing erosion or caving of the slopes and boulders, threatening public safety or welfare, or otherwise damaging archeological resources.

Standard CM-4: In the selection of alignment and in site design, grading plans shall demonstrate that cut and fill has been kept to a minimum consistent with the standards in this Plan. Generally, the overall topography of the site is not to be substantially altered. Development must comply with the joint Albuquerque-Bernalillo County Fugitive Dust Ordinance found in the New Mexico Administrative Code 20.11.20.

Standard CM-5: Replacement of boulders shall approximate the original location, angle, and surface exposure. Revegetation to approximate original cover with appropriate native or naturalized plants as identified in **Chapter 4 General Regulation B – Plant List A** is required within 90 days of project completion. A deviation may be granted by the Planning Director or his/her designee if the type of vegetation or time of year make revegetation within 90 days impossible. For infrastructure projects on public lands, the construction company shall post a warranty bond effective for three years after completion of the infrastructure work to insure successful revegetation.

VOLCANO TRAILS

Sector Development Plan

LUPZ BLUELINE 2014



VOLCANO TRAILS SECTOR DEVELOPMENT PLAN

City of Albuquerque

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Robert J. Perry, Chief Administrative Officer

City Council

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Debbie O'Malley, District 2

Isaac Benton, District 3

Brad Winter, District 4

Dan Lewis, District 5

Rey Garduño, District 6, Vice-President

Michael D. Cook, District 7

Trudy E. Jones, District 8

Don Harris, District 9, President

Environmental Planning Commission

Ron O. Garcia, Council District 1

Jonathan Siegel, Council District 2

Rob Dickson, Council District 3

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Hugh Floyd, Council District 5

Len Malry, Council District 6

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Allan Porter, Albuquerque Bernalillo County Water Utility Authority

[NOTE: Items in red are changes made during the EPC process. Those followed by a number in brackets are Conditions of Approval added during the EPC hearing February 14, 2014. Changes in blue indicate new recommendations from staff.]

Volcano Trails Sector Development Plan

As Adopted by the Mayor and the City Council

City Enactment No. R-2011-066

Amendments:

This Plan incorporates the City of Albuquerque amendments either in the following referenced Resolutions, which are on file with the City Clerk's Office and can be viewed on the City Council's webpage at <https://cabq.legistar.com/Legislation.aspx>, or by Administrative Amendment via Notice of Decision on file in the Planning Department.

Month / Year Adopted	Council Bill No.	City Enactment No.	Relevant page(s), map(s), section(s), etc. affected by the Resolution	Description <i>[include purpose, summary, and EPC Case number]</i>

[**Note:** Amendments as of 2014 are reflected in the Plan text. For more information, search for the Council Bill No. in City Council's Legistar webpage.]

**CITY OF ALBUQUERQUE
NINETEENTH COUNCIL**

COUNCIL BILL NO. C/S R-11-211 ENACTMENT NO. R-2011-066

SPONSORED BY: Dan Lewis by request

RESOLUTION

FOR AN AREA OF APPROXIMATELY 446 ACRES AND BORDERED GENERALLY BY UNIVERSE BOULEVARD TO THE EAST, STATE LAND, APS SCHOOL SITES AND THE NORTHERN GEOLOGIC WINDOW TO THE SOUTH, VACANT BERNALILLO COUNTY LAND TO THE WEST, AND PASEO DEL NORTE TO THE NORTH, ADOPTING THE VOLCANO TRAILS SECTOR DEVELOPMENT PLAN AS A RANK 3 PLAN; CHANGING EXISTING ZONING ON UNDEVELOPED PROPERTIES FROM RD TO SU-2 VOLCANO TRAILS VILLAGE CENTER, SU-2 VOLCANO TRAILS URBAN RESIDENTIAL, SU-2 VOLCANO TRAILS RESIDENTIAL DEVELOPING AREA, SU-2 VOLCANO TRAILS SMALL LOT, SU-2 VOLCANO TRAILS MEDIUM LOT, AND SU-2 VOLCANO TRAILS OPEN SPACE.

WHEREAS, the City Council, the governing body of the City of Albuquerque, has the authority to adopt and amend plans for the physical development of areas within the planning and platting jurisdiction of the City authorized by Statute, Section 3-19-1 et seq., NMSA 1978, and by its home rule powers; and

WHEREAS, on March 3, 2011 the Environmental Planning Commission, in its advisory role on land use and planning matters, recommended that the City Council adopt the Volcano Trails Sector Development Plan (VTSDP); and

WHEREAS, the Environmental Planning Commission found approval of the Volcano Trails Sector Development Plan consistent with applicable goals and policies of the Comprehensive Plan, the Westside Strategic Plan, the Trails and Bikeways Facility Plan, the Facility Plan for Electric Service Transmission and Subtransmission Facilities, the City of Albuquerque Major Public Open Space Facility Plan, the Facility Plan for Arroyos, the Northwest Mesa Escarpment Plan, the Comprehensive City Zoning Code, and R-270-1980.

BE IT RESOLVED BY THE COUNCIL, THE GOVERNING BODY OF THE CITY OF ALBUQUERQUE:

Section 1. The VOLCANO TRAILS SECTOR DEVELOPMENT PLAN is hereby adopted subject to conditions of approval in Exhibit A:

A. The Volcano Trails Sector Development Plan attached hereto and made a part hereof, is hereby adopted as a land-use control pursuant to the Comprehensive City Zoning Code.

B. The maps on page 24 titled "Exhibit 10, Zoning Established by the Volcano Trails Sector Development Plan" and the text of Chapter 3 "Zoning and General Standards" are adopted as an extension of the Zoning Code and its zone map.

Section 2. FINDINGS ADOPTED. The City Council adopts the following findings:

A. The Volcano Trails Sector Development Plan is a Rank 3 plan that covers an area of approximately 446 acres. The Plan boundaries are Universe Boulevard to the east; State land, APS school sites and the Northern Geologic Window to the south; vacant Bernalillo County land to the west; and Paseo del Norte to the north.

B. This plan is one of three distinct but related sector development plans intended to guide future development in the larger Volcano Mesa Community. The other two plans are the Volcano Heights and Volcano Cliffs Sector Development Plans. The three plans share similar policy underpinnings that are included in a companion amendment to the Rank II, West Side Strategic Plan (WSSP). At the November 4, 2010 hearing, the EPC voted to send the WSSP amendment to the City Council with a recommendation of approval. On February 23, 2011, the City Council voted to adopt the WSSP amendment.

C. The Volcano Trails area currently contains land that is zoned RD, and the Volcano Trails Sector Development Plan proposes six new zone categories – SU-2 VT Village Center (VTVC), SU-2 VT Residential Developing area (VTRD), SU-2 VT Urban Residential (VTUR), SU-2 VT Small Lot Residential (VTSL), SU-2 VT Medium Lot Residential (VTML), SU-2/SU-1 for Open Space (privately owned) – as well as General Design Standards and General Regulations that are associated to varying degrees with all properties within the VTSDP boundary.

D. The Volcano Trails Sector Development Plan supports the following goals and policies in the Albuquerque/Bernalillo County Comprehensive Plan:

1. Policies II.B.5.a, c, d, h, i, k, m: through the mix of uses proposed in order to provide neighborhood services, retail, and higher-density housing in specific locations in the Volcano Trails area, and zoning regulations that ensure development will not be visually intrusive (i.e. restrictions on height, color, and reflectivity);

2. Policies II.B.1.c, f, j: through the location of the least intense zoning adjacent to Major Public Open Space, the General Standards that address colors, heights, reflectivity and fencing adjacent to the Petroglyph National Monument, and the recognition of the developer's proposals for open space corridors, parks, and trails;

3. Policy II.C.6.c: through the language in General Standards that address petroglyphs and archeological sites;

4. Policies II.C.8.a, b, d, e: through the General Standards protecting rock outcroppings; development buffers and low-intensity zoning nearest to the Petroglyph National Monument, arroyos, and Major Public Open Space; General Standards requiring street trees and native and xeric plants for landscaping; and zoning regulations that ensure development will not be visually intrusive (i.e. restrictions on height, color, and reflectivity);

5. Policies II.C.9.b, e: through the proposed zoning, and the proposed road network, and through the employment opportunities provided by the Village Centers;

6. Policies II.D.6. a, g: through the small business and employment opportunities provided by the mixed use areas and the Village Centers.

E. The Volcano Trails Sector Development Plan supports the following policies in the West Side Strategic Plan:

1. Policy 1.1 through the high-density and non-residential uses to be located in proposed nodes;

2. Policy 3.96 through the establishment of new zoning that will create mixed-use neighborhoods and allow higher-density residential development that can both support and be served by transit;

3. Policy 3.99 through General Standards that protect the Petroglyph National Monument's Northern Geologic Window from the impacts of development by requiring single-loaded streets along at least 60% of the lineal edge of the Northern Geologic Window and prohibiting storm runoff into the Northern Geologic Window in excess of natural flows;

4. Policy 3.100 through regulations on building color and reflectivity, heights and setbacks;

5. Policy 3.101 through regulations limiting fill;

6. Policy 3.103 by mapping Significant Rock Outcroppings and setting guidelines for their protection and requiring mitigation of storm runoff from development into the Petroglyph National Monument;

7. Policy 3.104 by requiring that development, trails and recreation areas be set back by at least 50 feet from prehistoric petroglyphs or other significant archaeological sites as defined by the Albuquerque Archaeological Ordinance;

8. Policy 3.105 by requiring larger lot sizes, up to a minimum of 11,000 square feet for development within 200 feet of the Petroglyph National Monument or Major Public Open Space in order to preserve view corridors and visible private open space, by requiring single-loaded streets along at least 60% of the lineal edge of the Petroglyph National Monument's Northern Geologic Window;

9. Policy 3.106 by requiring that development, trails and recreation areas in the Volcano Trails area be set back by at least 50 feet from prehistoric petroglyphs or other significant archeological sites, unless designated under the guidance of a qualified archaeologist, per the city's Archaeological Ordinance;

10. Policy 3.107 by mapping Significant Rock Outcroppings defined in the Plan as bedrock or other stratum a minimum of 6 feet high on its steepest side as measured from the adjacent 10% slope line and in excess of 500 feet of surface area, and setting guidelines for their protection and access;

11. Policy 3.108 by mapping Significant Rock Outcroppings in the Plan area and requiring that they be preserved in place and incorporated into

privately-owned open space (open to the public) to be identified on existing and future site plans, and that access be provided via public right-of-way or public access easements as development occurs;

12. Policy 3.11 by promoting land-use, density and development standards that concentrate mixed-use and make frequent transit service viable;

13. Policy 3.13 by establishing a network of multi-use trails within an open space network and along key streets that provide access to several City and neighborhood parks, as well as the Petroglyph National Monument's Northern Geologic Window;

14. Policy 4.6 by establishing maximum development densities and lot sizes for development near the Petroglyph National Monument's Northern Geologic Window, through regulations on building color and reflectivity, by requiring single-loaded streets along at least 60% of the lineal edge of the Northern Geologic Window, by setting design standards for commercial signage, and by specifying coyote, post-and-wire or view fencing on properties located adjacent to the Petroglyph National Monument or Major Public Open Space.

15. Policy 4.6c by prohibiting gated or walled developments in any non-exempt part of the Volcano Trails Sector Development Plan area, and by prohibiting/strongly discouraging cul-de-sacs or dead-end streets in newly platted development.

16. Policies 7.7, 10.1, and 10.3 through the General Standards for naturalistic arroyo treatment.

F. The VTSDP supports the Proposed Trails Map on page 8 and the intent of the Rank 2 Trails and Bikeways Facility Plan through the expansion of the trail network in this area.

G. The Volcano Trails Sector Development Plan supports Policies 20, 21 and 23 in the Northwest Mesa Escarpment Plan through the Zoning and General Standards in the VTSDP, written to avoid visually intrusive development and the recognition of the developer's proposed open space and scenic corridors for the Volcano Trails area.

H. The Volcano Trails Sector Development Plan supports the Proposed Trails Map on page 22 and the intent of the Rank II Trails and Bikeways Facility Plan through the expansion of the trail network in this area.

I. The Volcano Trails Sector Development Plan supports the Rank II Facility Plan for Electric Service Transmission and Subtransmission Facilities, through the addition of language provided with PNM to address utility easements, landscaping, and access to public utility facilities.

J. The Volcano Trails Sector Development Plan supports the Rank II City of Albuquerque Major Public Open Space Facility Plan policies B2-G, B2-K, C-3 and Figure 4-1 through policies that address the environment and open space and design and zoning regulations that ensure appropriate transitions from developed areas to open space.

K. The Volcano Trails Sector Development Plan supports the Rank II Facility Plan for Arroyos: Multiple Use of Albuquerque's Arroyos and their Floodplains policies II.B. Drainage 1, II.B. Multiple Use 1, II.C.2, II.C.3, II.D.2, II.F.4 through the proposed naturalistic treatment for arroyos and General Design Standards protecting the opportunity for trails along arroyos.

L. The Volcano Trails Sector Development Plan is justified per Resolution 270-1980. The proposed zoning is more advantageous to the community because it furthers applicable goals and policies in the Comprehensive Plan, the WSSP, and the NWMEP. The Plan meets the public need for a sector-wide map amendment to ensure an adequate mix of residential, commercial, and service uses that encourage and allow residents to live, work, shop, and recreate all in close proximity. The proposed zoning is designed to create a healthy community that contains a mix of uses, is transit accessible and bicycle friendly, and encourages pedestrian activity, which will help decrease the demand on local streets and decrease vehicle miles traveled. Furthermore, this public need is best served by rezoning this particular sector in this particular manner as compared with other available properties, which do not exist in the amount or configuration necessary to meet the public need. The proposed zoning meets R-270-1980 criteria as follows:

1. The zone changes proposed by the VTSDP are consistent with furthering the health, safety, morals and general welfare of the city. The

purpose of the VTSDP is to ensure that the area develops in such a way as to further the goals and policies of the Comprehensive Plan and other applicable plans – in this case the WSSP and the NWMEP. The plan proposes residential, commercial, office, and neighborhood service uses in a pattern designed to support transit.

2. The proposed zoning changes will provide the area with stability. The VTSDP area is currently zoned RD, which allows a range of densities, intensities, and uses with no requirement for coordination and/or planning. The proposed zoning for the VTSDP is designed to reflect the platting, the unique location of the area, and the road network and conditions while encouraging neighborhood services and retail in designated areas to serve Volcano Trails residents and surrounding neighbors. The proposed zoning is designed to ensure that non-residential uses, mixed uses, multifamily residential development, townhouses, and single-family uses all develop in a pattern and location that encourage and support a stable built environment.

3. The proposed VTSDP supports applicable goals and policies in the Comprehensive Plan, West Side Strategic Plan, the Northwest Mesa Escarpment Plan, the Trails and Bikeways Facility Plan, the Facility Plan for Electric Service, and the Facility Plan for Arroyos as outlined in previous findings D through K.

4. The existing zoning is inappropriate because:

a. The U.S. Congress created the Petroglyph National Monument after the establishment of the existing zoning. The proposed zoning responds to and endeavors to minimize adverse impacts on the Petroglyph National Monument while allowing private property to be developed; and

b. The proposed zoning would be more advantageous to the community because it furthers applicable goals and policies in the Comprehensive Plan, the WSSP and the NWMEP. The proposed zoning is designed to create a healthy community that contains a mix of uses, is transit accessible and bicycle friendly, and encourages pedestrian activity, as articulated in findings D through K above. Specifically:

i. SU-2 Volcano Trails Village Center (SU-2 VTVC): This zone category replaces existing R-D zoning for approximately 30 acres of land at two locations in the Plan area – the intersection of Paseo del Norte and Woodmont Dr., and the intersection of Paseo del Norte and Universe Blvd. The WSSP calls for each community on the West Side to be served by smaller Neighborhood Activity Centers that are easily reached by walking from surrounding neighborhoods and that offer opportunities for neighborhood-serving commercial activities and employment. The existing R-1 zoning does not provide this opportunity, which is why a zone change is needed. The SU-2 VTVC permits both higher-density residential and neighborhood- and community-serving commercial uses in order to help achieve a balance of uses within a transit-supportive environment. Based on the existing platting and development in the area, the two VTVC zones are located on the only sufficiently sized tracts of land located near major roads and far enough away from Major Public Open Space and the Petroglyph National Monument to allow the potential to develop into true Neighborhood Activity Centers. There are no other comparable locations.

ii. SU-2 Volcano Trails Urban Residential (SU-2 VTUR): This zone category replaces existing R-D zoning in two specific areas within the VTSDP boundaries: 1.) along Paseo Del Norte east and west of Woodmont Ave, where it provides a transition between the Village Center zone and nearby Volcano Trails Open Space and lower-density single family housing, and 2.) to the west and south of the Village Center zone at Paseo del Norte and Universe Blvd., where it also serves to buffer the Village Center zone from adjacent areas of less dense housing. It will allow a variety of urban housing types within a network of pedestrian-friendly streets. This zone is being used at these locations in order to step down the intensity of development as it transitions from urban to residential.

iii. SU-2 Volcano Trails Residential Developing Area Zone (SU-2 VTRD): This zone category replaces existing R-D zoning for land on the northern and southern edges of the property. This zone category generally corresponds to the R-1 zone with certain additions and exceptions, including the prohibition of gated developments and an allowance for a minor second dwelling unit of up to 650 square feet. This zone is being used in these locations because of specific needs related to these locations.

iv. SU-2 Volcano Trails Small Lot (SU-2 VTSL): This zone category replaces existing R-D zoning for approximately 60 acres near the center of the Plan area. This zone category allows typical suburban lot sizes, but with rear access alleys, houses moved up to the sidewalk, front porches and other features to create a more pedestrian-friendly environment. This zone is being used in this location because of specific needs related to this location.

v. SU-2 Volcano Trails Medium Lot (SU-2 VTML): This zone category replaces existing R-D zoning for approximately 60 acres to the north and south of the Petroglyph National Monument's Northern Geologic Window. It allows single-family homes on progressively larger lots depending on proximity to the Northern Geologic Window in order to protect views and reduce the impact of development in this area. This zone is being used in this location in order to step down development intensities in this geologically, archaeologically and culturally sensitive area.

5. The proposed zoning does not contain uses that would be harmful to adjacent properties, neighbors, or the community. Per the Zone Code, non-residential properties are required to buffer residential properties when they meet.

6. None of the Plan's zone changes require major capital expenditures.

7. The cost of land is not discussed in the Plan, and is not the reason for adopting the plan.

8. The location of mixed-use and higher-density residential zoning is related to the vision proposed for the whole Volcano Mesa area, and is not based solely on location on a collector or major street.

9. The Council finds that the proposed SU-2 zones do not create spot zones. To the extent to which any of the proposed SU-2 zones are found to be spot zones, they are justified as follows:

a. The proposed zoning clearly facilitates realization of the Comprehensive Plan, the Westside Strategic Plan, the Trails and Bikeways Facility Plan, the Facility Plan for Electric Service, the Facility Plan for Arroyos, and the Northwest Mesa Escarpment Plan as detailed above in the response to R-270-1980, Section L.4.; and

b. The proposed zones and their individual, component regulations within the plan area and the plan area itself are different from surrounding land. The proposed locations of zone boundaries create differences between adjacent lands and zones as well as differences between zones within the plan area. The proposed zone categories create the opportunity for sustainable growth that entails different land uses that help to meet the area's housing, service, and employment needs. The proposed zoning categories establish and facilitate transitions between adjacent zones within the plan area and where adjacent to existing zoning. Even where residential and non-residential zoning abut or are adjacent, there are specific requirements for height transitions within the more intense zone category so as to maximize compatibility with the less intense zone category. There are no other available properties in the area with the acreage or configuration necessary to meet the public need for sustainable and coordinated growth.

10. To the extent to which any of the proposed SU-2 zones are found to be strip zones, they are justified as follows:

a. The proposed zoning clearly facilitates realization of the Comprehensive Plan, the West Side Strategic Plan, the Trails and Bikeways Facility Plan, the Facility Plan for Electric Service, the

Facility Plan for Arroyos, and the NWMEP as detailed above in the response to R-270-1980, Section L.4.; and

b. The proposed zoning and their individual, component regulations within the plan area and the plan area itself are different from surrounding land. The proposed locations of zone boundaries create differences between adjacent lands and zones as well as differences between zones within the plan area. The proposed zone categories create the opportunity for sustainable growth that entails different land uses that help to meet the area's housing, service, and employment needs. The proposed zoning categories establish and facilitate transitions between adjacent zones within the plan area and where adjacent to existing zoning. Even where residential and non-residential zoning abut or are adjacent, there are specific requirements for height transitions within the more intense zone category so as to maximize compatibility with the less intense zone category. Furthermore, the location of many of the "strip zones" is in response to traffic potentials on established, but not yet fully developed arterial corridors, such as Paseo del Norte and Unser Boulevard. There are no other available properties in the area with the acreage or configuration necessary to meet the public need for sustainable and coordinated growth.

M. The Environmental Planning Commission has reviewed the Volcano Trails Sector Development Plan and received presentations and testimony from Planning staff, commenting City departments and other agencies, property owners, interested parties, and the general public at three separate public hearings on 02 September 2010, 04 November 2010, and 03 March 2011.

Section 3. CONDITIONS OF APPROVAL ADOPTED. The City Council adopts the conditions of approval as recommended by the Environmental Planning Commission attached in Exhibit A.

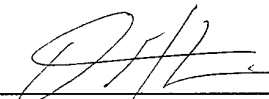
Section 4. EFFECTIVE DATE. This resolution shall take effect five days after publication by title and general summary.

Section 5. SEVERABILITY CLAUSE. If any section, paragraph, sentence, clause, word or phrase of this resolution is for any reason held to be invalid or

unenforceable by any court of competent jurisdiction, such decision shall not affect the validity of the remaining provisions of this resolution. The Council hereby declares that it would have passed this resolution and each section, paragraph, sentence, clause, word or phrase thereof irrespective of any provisions being declared unconstitutional or otherwise invalid.

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1 PASSED AND ADOPTED THIS 15th DAY OF August, 2011
2 BY A VOTE OF: 9 FOR 0 AGAINST.

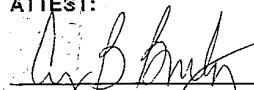
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9 Don F. Harris, President
10 City Council
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13 APPROVED THIS 31st DAY OF August, 2011
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16 Bill No. C/S R-11-211
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22 Richard J. Berry, Mayor
23 City of Albuquerque
24

25 ATTEST:

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28 Amy B. Bailey, City Clerk
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31
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33



Office of the City Clerk
P.O. Box 1293
Albuquerque, NM 87103
Phone (505) 768-3030 Fax (505) 768-2845

Richard J. Berry, Mayor

Amy B. Bailey, City Clerk

To: CITY COUNCIL
From: AMY B. BAILEY, CITY CLERK
Date: August 31, 2011
Subject: BILL NO. R-11-211; ENACTMENT NO. R-2011-066

I hereby certify that on August 31, 2011, the Office of the City Clerk received Bill No. R-11-211 as signed by the president of the City Council, Don F. Harris. Enactment No. R-2011-066 was passed at the August 15, 2011 City Council meeting. Mayor Berry did not sign the approved Resolution within the 10 days allowed for his signature and did not exercise his veto power. Pursuant to the Albuquerque City Charter Article XI, Section 3, this Resolution is in full effect without Mayor's approval or signature. This memorandum shall be placed in the permanent file for Bill No. R-11-211.

Sincerely,

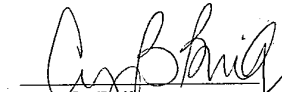

Amy B. Bailey
City Clerk

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CHAPTER 1

Introduction. Volcano Trails (see **Exhibit 1**) is the smallest of three sector plan areas west of the Petroglyph National Monument on Albuquerque's West Side (see **Exhibit 2**).

In 2004, the City Council called for a planning study of what is now known as Volcano Mesa, which includes Volcano Cliffs, Volcano Heights, and Volcano Trails Sector Development Plan areas. Finding that “The Volcanic Escarpment of the Northwest Mesa has long been considered a unique landscape that requires special protection,” the Council expressed concerns over development trends with subdivisions being approved piecemeal without the guidance of an overall plan for the area. The Council recognized the need for a plan that would bring development in line with the West Side Strategic Plan (WSSP), the Northwest Mesa Escarpment Plan (NWMEP), the Albuquerque / Bernalillo County Comprehensive Plan, and other previously established policies. Issues to be addressed included transportation, drainage, water and wastewater, a mix of land uses, view corridors, building height, massing and orientation, walls, parks, trails and open space, and phasing and timing of growth.

The Planning study forecasted over 100,000 additional residents at final build-out in the Volcano Mesa area and adjoining areas on the Northwest Mesa and identified how build-out of exclusively single family residential subdivisions would increase the imbalance of jobs and housing, adding to traffic demands and increasing the burden on West Side and east-west transportation systems. The study identified an overall need for transit-supportive densities and design; additional mixed-use centers; a large-scale, regional mixed-use employment center; consolidation and connection of open space and trails along drainage channels; and retaining access to exceptional views.

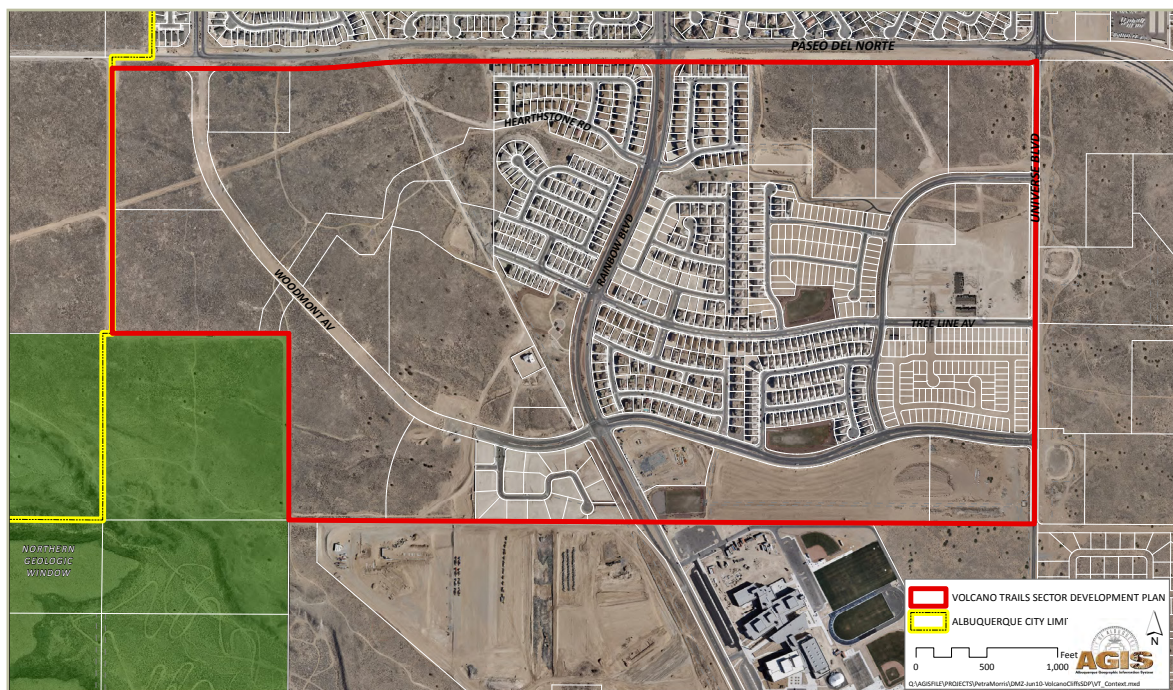


EXHIBIT 1: VOLCANO TRAILS PLAN AREA

Planning Process. In 2010, at the direction of City Councilor Dan Lewis and Planning Director Deborah Stover, in consultation with area property owners, a new approach to developing long-range plans for this special area of Albuquerque was initiated. The original Volcano Heights Sector Plan was adopted in 2006 but appealed to district court by the Volcano Cliff Property Owners Association. Upon remand from the court, the Plan was divided into three separate, but related, Rank III Sector Development Plans in order to address the diverse needs and issues within each planning area. Language related to the overall development of the plan area, including analysis of existing conditions and general goals and policies for land use, transportation, and open space were moved into the companion Volcano Mesa amendment to the West Side Strategic Plan, the Rank II Area Plan that sets policy for development on Albuquerque's West Side.

The City sought input from stakeholders and property owners in a renewed planning process and used that input to guide the development of the three plans that were based on the original planning effort but more specifically tailored to the goals and vision of affected stakeholders and property owners of each area.

The three plans can generally be described as follows:

- the Volcano Cliffs Sector Development Plan (VCSDP), in which lower-density residential development will predominate on thousands of individually owned small lots;
- the Volcano Heights Sector Development Plan (VHSDP), which includes larger tracts of land designated a Major Activity Center, with opportunities for a mix of employment, commercial, and high- and medium-density residential development; and
- the Volcano Trails Sector Development Plan (VTSDP), which is primarily designated for medium-density, single-family residential development held in consolidated ownership, with larger tracts being developed by master developer Longford Homes.

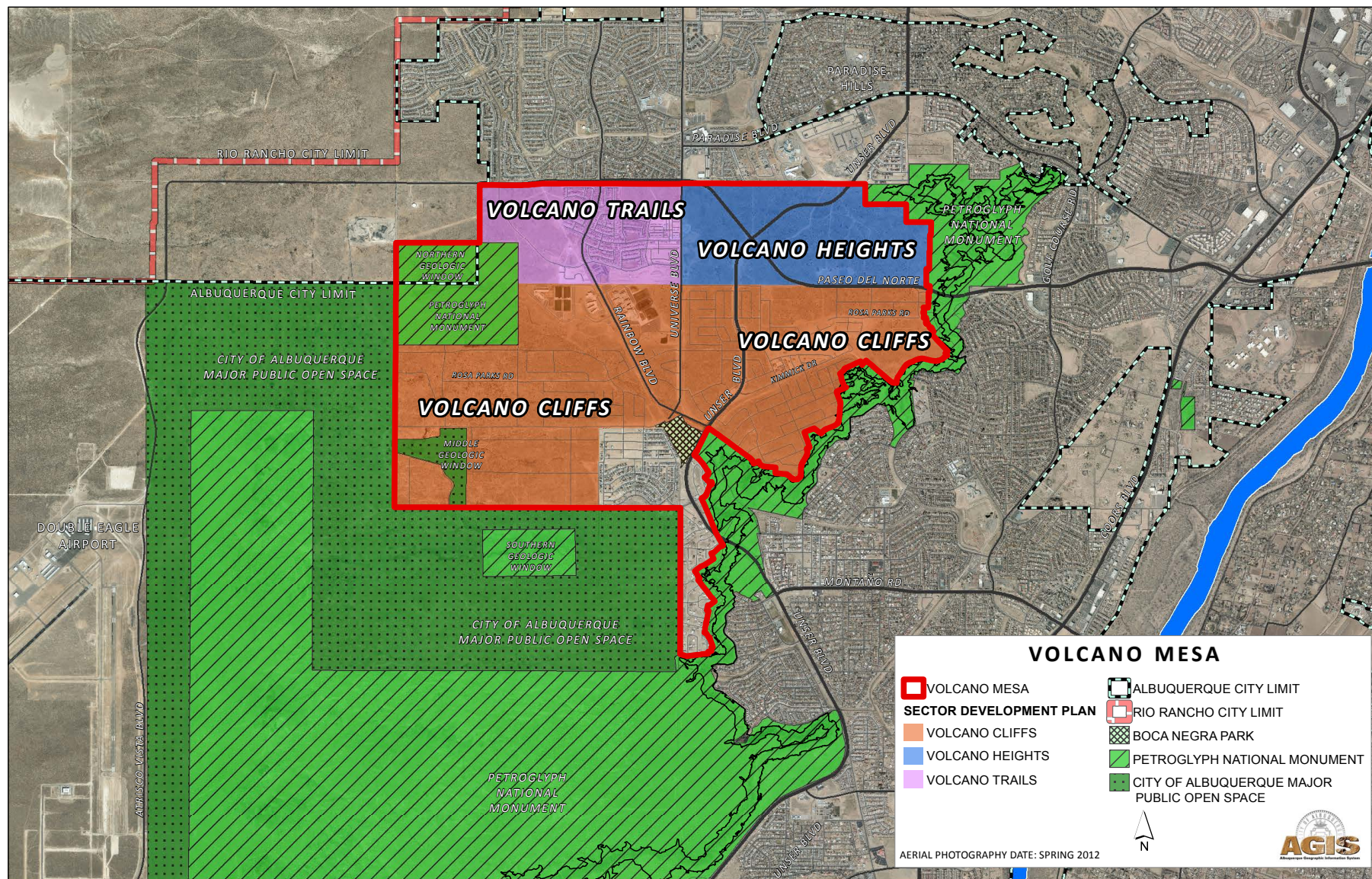


EXHIBIT 2:VOLCANO MESA PLAN AREA

INTRODUCTION

Purpose of the Plan. The Volcano Trails Sector Development Plan, “the Plan,” provides regulatory guidance for the development of the Trails, a 446-acre area held by Longford Homes consisting of residential villages, parks, an open space corridor, trails, and neighborhood retail and services.

The Plan adopts zoning and land-use strategies that support area-wide policies for high-quality development with a range of housing densities and that respond to the area’s unique location and landscape.

Plan Area. The Plan area is located south of Paseo del Norte and west of Universe Boulevard. This area is part of the larger 3,532-acre Volcano Mesa planning area designated by an amendment to the WSSP in 2011 (See **Exhibit 2, Volcano Mesa Plan Area**).

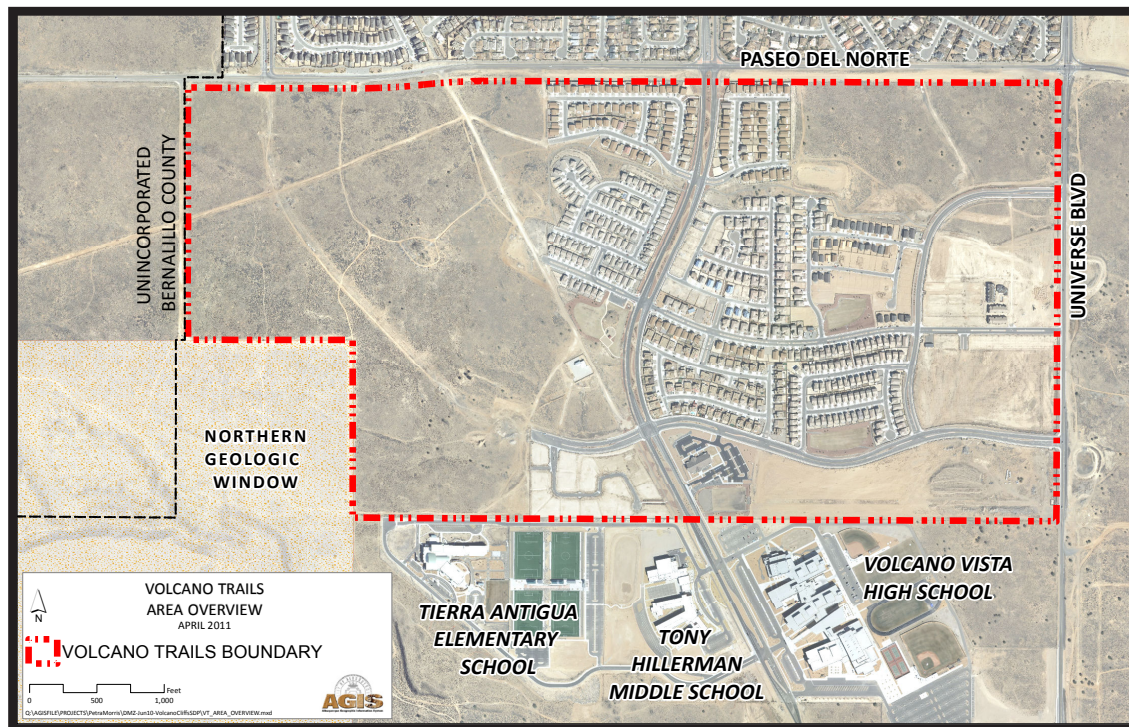


EXHIBIT 3: VOLCANO TRAILS PLAN LOCATION

Albuquerque Public Schools (APS) has three schools south of the Plan area, including Volcano Vista High School, Tony Hillerman Middle School, and Tierra Antigua Elementary School. There are also undeveloped lands held by the State of New Mexico to the south of the Plan area. To the west of the Plan Area is the Petroglyph National Monument’s Northern Geologic Window and undeveloped land in unincorporated Bernalillo County. (See **Exhibit 3, Volcano Trails Plan Location**.)

During the initial planning process for the larger Volcano Mesa area in 2004, certain areas were exempted from consideration of new land-use regulations. The exempted areas were those that had received preliminary approval as of October 2004, when a development moratorium was instituted for the Volcano Mesa area and for those areas that received final plat approval as the 2006 Plan was being developed. These exempted tracts are shown as colored areas in **Exhibit 4**. The developer agreed to make certain design modifications for the currently unbuilt portion of those exempted areas, which are now part of the Plan's new zones.

Development Status. Approximately 30 percent of the Trails development is complete. Vacant parcels remaining include the areas designated for future commercial uses and lots bordering the Northern Geologic Window and APS and State of New Mexico lands.

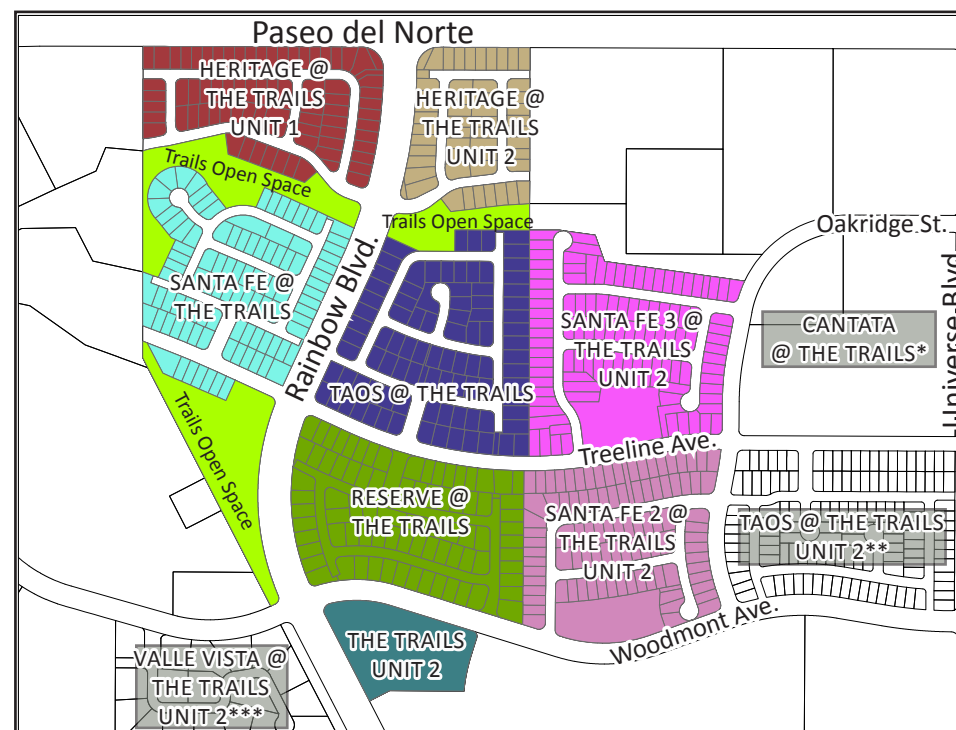


EXHIBIT 4: VOLCANO TRAILS EXEMPTED TRACTS

* NOTE: Cantata @ the Trails is NOT exempt but does warrant specialized zoning regulation, as its site plan was approved by the Development Review Board (DRB) based on zoning from a prior planning effort. (See **Chapter 3 Section I – Zoning** Pre-existing Standards for Development.)

** NOTE: Taos @ the Trails Unit 2 is NOT exempt but does warrant specialized zoning regulation, as it was platted prior to the latest planning effort. (See **Chapter 3 Section I – Zoning** Volcano Trails Small Lot [SU-/VTSL].)

*** NOTE: Valle Vista @ the Trails Unit 2 is NOT exempt except for lot size, as it was platted prior to the latest planning effort.

[Consensus Planning Request re: Valle Vista: "that land development requirements do not apply, but the house design standards are applicable. Will allow for platting and replatting of these tracts consistent with the existing infrastructure already constructed."]

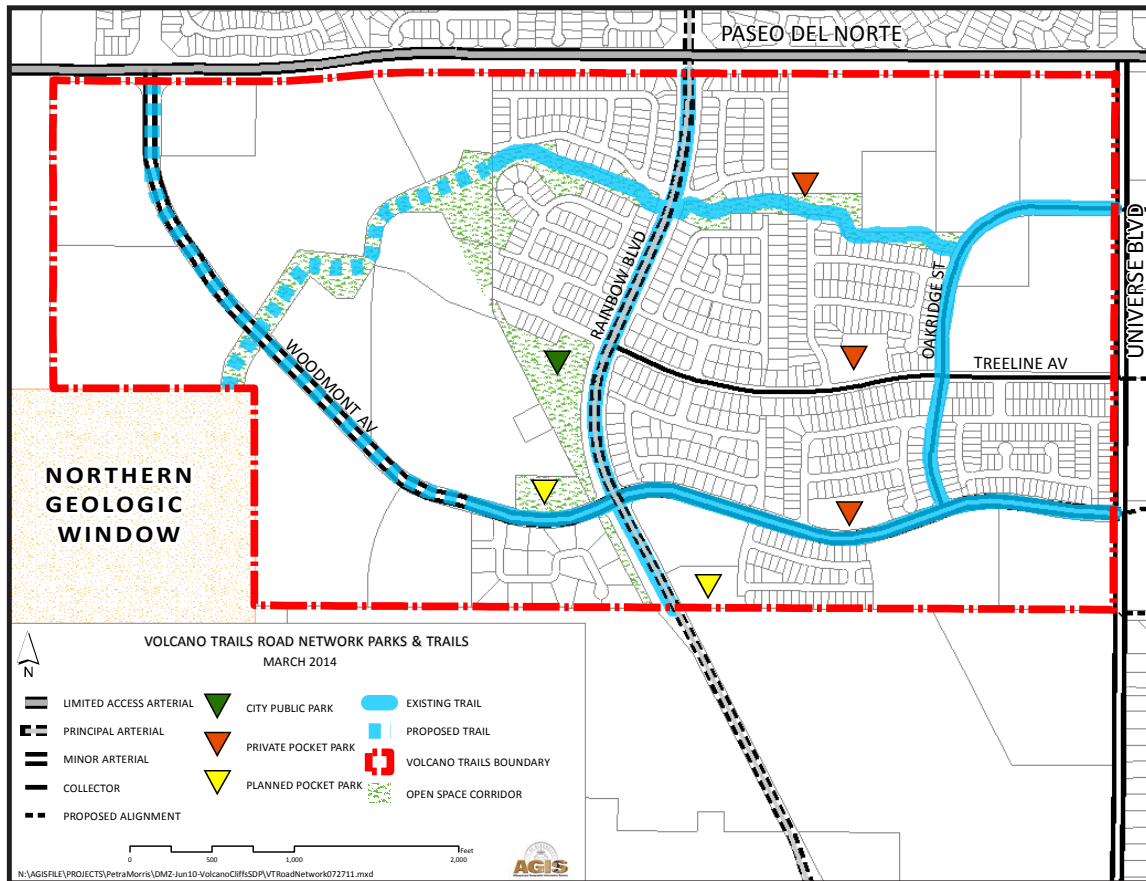


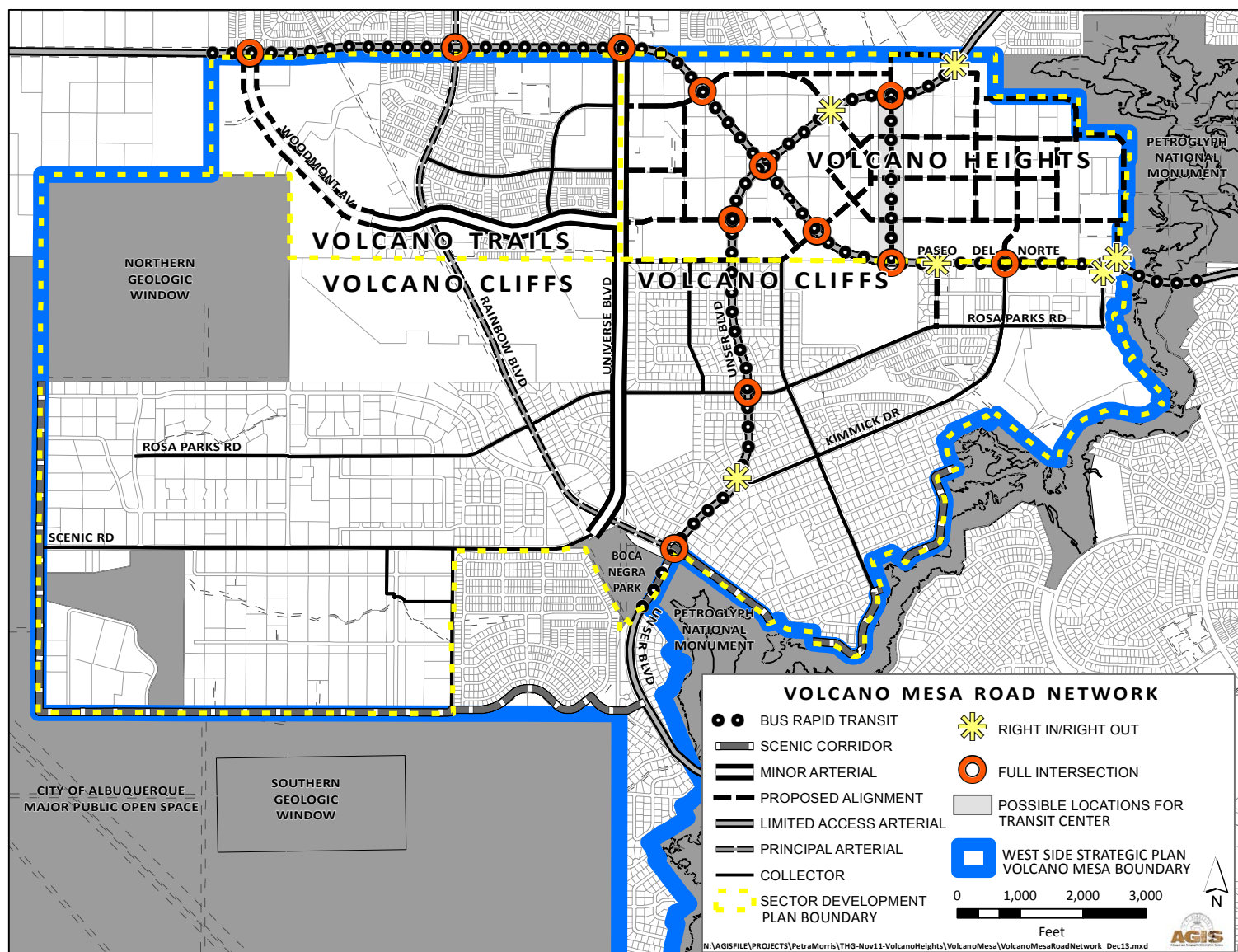
EXHIBIT 5: VOLCANO TRAILS ROAD AND TRAILS NETWORK, OPEN SPACE CORRIDORS, AND PARKS

[2]

Transportation. The Plan's major road network, in various states of completion, includes the following that correspond to the Mid-Region Council of Government's functional classifications:

- Rainbow Boulevard, a principal arterial, which bisects the plan area and provides access from Paseo del Norte, a limited access major arterial, to the APS campuses of Volcano Vista High School, Tony Hillerman Middle School, and Tierra Antigua Elementary School;
- Universe Boulevard, a designated minor arterial, which borders the Plan to the east; and
- Woodmont Avenue, a designated collector, which upon completion will generally run east-west through the plan area from Paseo del Norte to Rainbow and Universe Boulevards, eventually connecting outside of the Plan area with Unser Boulevard.

Other collector streets include Treeline Avenue and Oakridge Street.



[1, 3]

EXHIBIT 6: PROPOSED VOLCANO MESA ROAD NETWORK

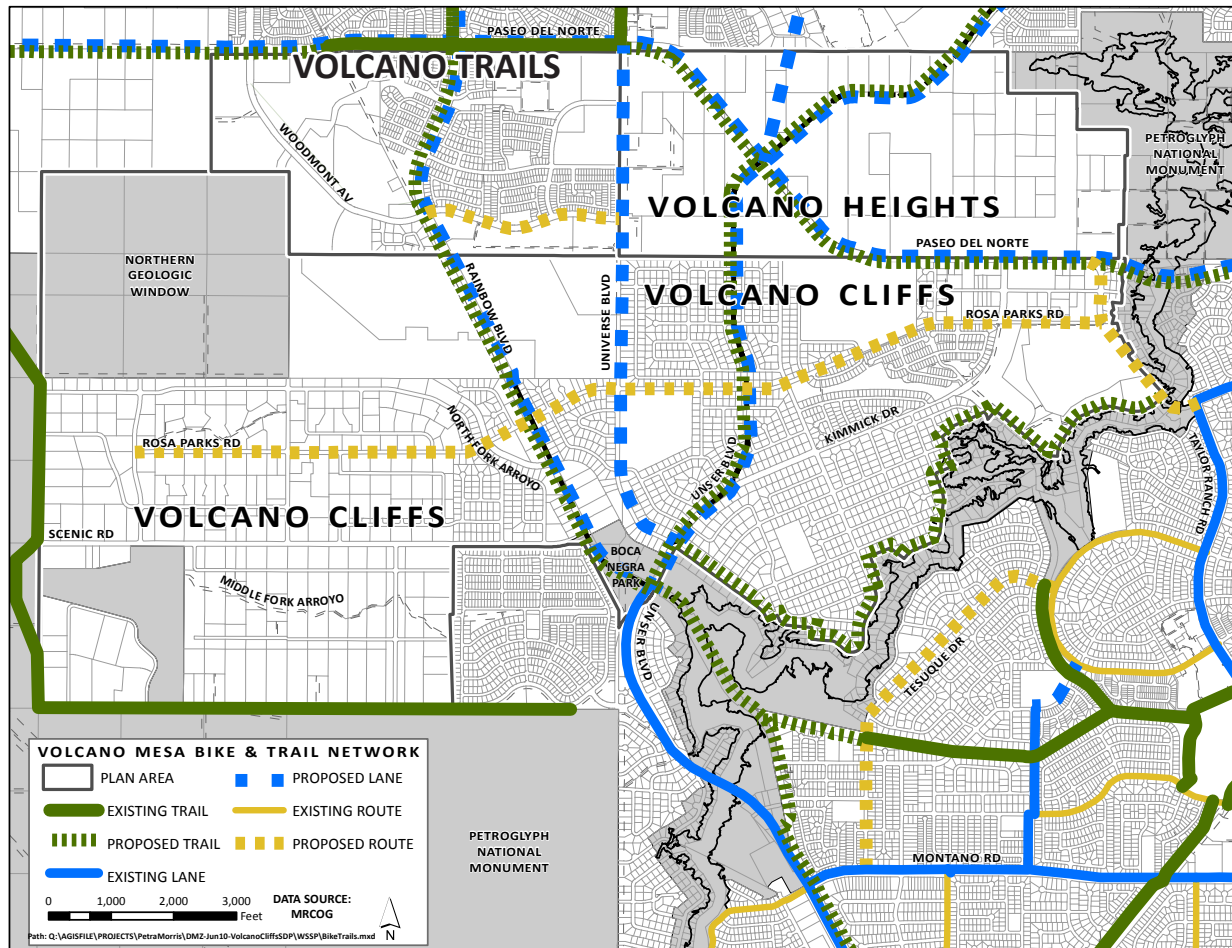


EXHIBIT 7: VOLCANO MESA BIKE & TRAIL NETWORK

Open Space and Parks. The Plan's western boundary includes the Petroglyph National Monument's Northern Geologic Window, which contains culturally significant resources that should be protected by access restrictions limiting use.

The Trails development features 41 acres of open space and parks, including one completed park dedicated to the City, three completed private pocket parks, and several additional pocket parks planned for new subdivision development. An open space corridor runs east-west through the development, providing trails that connect park sites for area recreation. The corridor connects to designated open space that runs north-south the length of the Plan area along Universe Boulevard. (See **Exhibit 5, Volcano Trails Road and Trails Network, Open Space Corridors, and Parks.**)

Once platted, private parks and open space will ultimately be conveyed to a homeowner's association, which will remain responsible for improvements, maintenance, and liability. While privately owned, these parks and open space corridors are intended for public access. The developer shall grant a public pedestrian access easement to ensure public access in perpetuity.

Pre-existing Zoning. Until the adoption of this Plan, the Plan area was zoned for single-family residential development (Residential Developing Area - RD) at average suburban densities of 5 dwelling units per acre (du/acre). RD zoning allows uses as intense as residential townhouse (R-T) or residential limited townhouse (R-LT).

In the RD zone, townhomes are permitted if a site development plan is approved by the Planning Director (or his/her designee) and the Development Review Board (DRB). If multifamily or commercial uses are desired, then an RD sector development plan approved by the Environmental Planning Commission (EPC) is required, but the amount of commercial cannot exceed 15% of the RD zone covered by the sector plan.

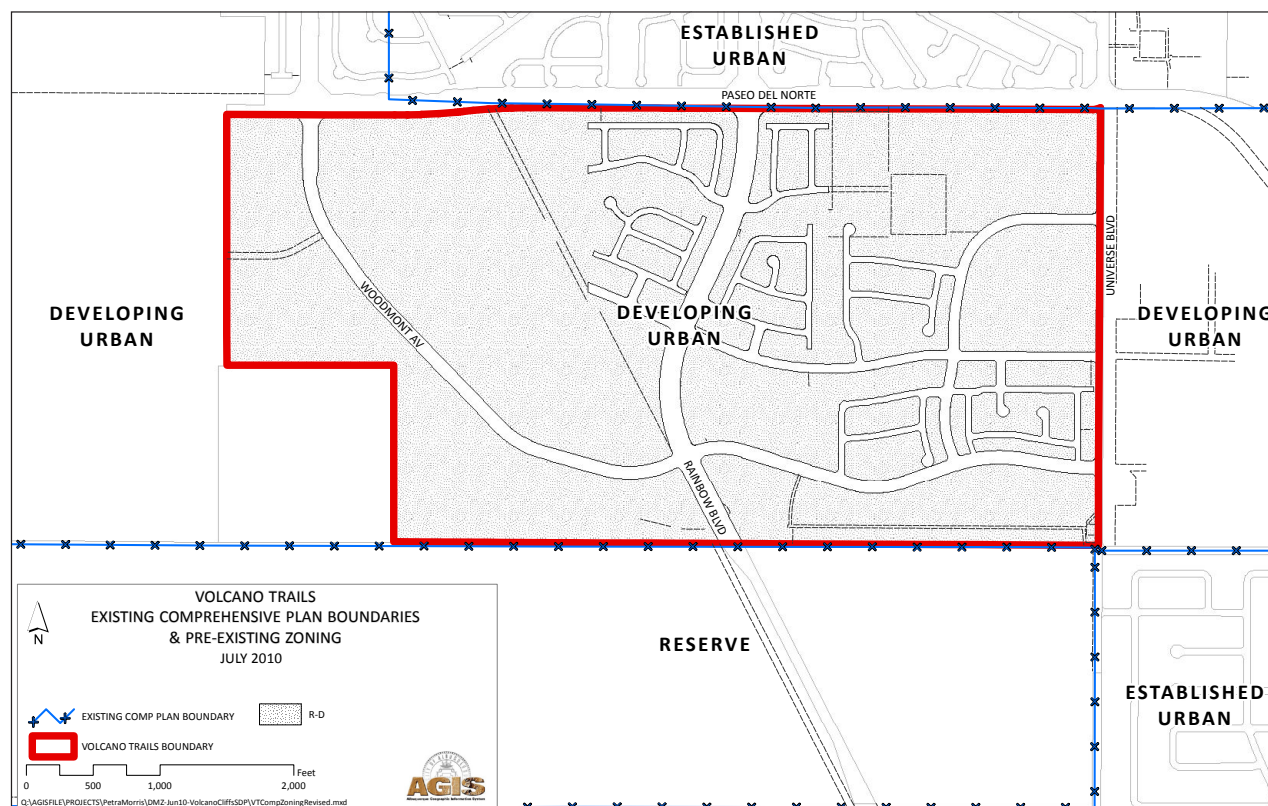


EXHIBIT 8: PRE-EXISTING ZONING AND COMPREHENSIVE PLAN DESIGNATION

Because these uses that involve higher densities are allowed within the zone, the potential outcomes for development are hard to predict, and unintended negative impacts are difficult to mitigate. This Plan seeks to introduce a range of lot sizes, housing types, and densities of development and maintain flexibility in the development process, while improving the predictability of development.

The expected total build-out for the Plan area under pre-existing zoning is estimated to be 2,050 dwelling units. Expected build-out with this sector plan zoning is roughly the same, with the addition of 215,000 square feet of commercial uses.

The pre-existing, predominantly single-family residential zoning does not allow predictable development of commercial and other non-residential uses that could make neighborhoods more walkable and convenient (e.g. neighborhood services). This Plan designates new zoning for commercial areas with pedestrian-oriented design standards that serve neighborhoods. This new commercial zoning will allow development that supports a wide range of transportation, housing, and amenity options.

Regulatory Framework. The City of Albuquerque uses a system of ranked plans, starting with the Rank 1 Albuquerque / Bernalillo County Comprehensive Plan, which sets the vision, goals, and overall policies from a City-wide perspective. There are also lower-ranked plans that must comply with the intent, policies, and goals of higher-ranked plans. Rank 2 Plans, such as the West Side Strategic Plan or the Arroyos Facility Plan, are exclusively policy documents that provide more detail and give more direction about large but distinct areas within Albuquerque. Rank 3 Plans, including Sector Development Plans (SDP) such as this Volcano Trails SDP, take the most detailed look at smaller areas and can include both policy (i.e. direction) and regulations (i.e. law).

This Rank 3 VTSDP is intended to further and comply with the policies and intents of the adopted plans in the following table.

TABLE I: RELEVANT EXISTING RANKED CITY PLANS

Relevant Ranked Plans	Area	Policy / Regulation
Rank I: Albuquerque / Bernalillo County Comprehensive Plan	Entire Albuquerque Area	Policy
Rank II: Area / Facility Plans <ul style="list-style-type: none"> West Side Strategic Plan Facility Plan for Arroyos Major Public Open Space Facility Plan Trails and Bikeways Facility Plan Facility Plan for Electric Service Transmission and Subtransmission Facilities 	Relevant Albuquerque Areas, including Volcano Mesa	Predominantly Policy
Rank III: <ul style="list-style-type: none"> Northwest Mesa Escarpment Plan (NWMEP) 	Specific Area	Policy / Regulation

The Rank III VTSDP provides policy and regulatory guidance for development within its boundaries. Its adoption sets land-use, design, and development standards for the area to ensure development outcomes that are more predictable for the community and affected stakeholders. Its strategies are based on implementing the goals and policies of the 2011 WSSP Volcano Mesa Amendment, which identifies the Volcano Trails area as suitable for primarily residential development at a mix of densities and housing types and for small areas of pedestrian-friendly commercial and mixed uses serving nearby neighborhoods.

Because the VTSDP and the NWMEP are both Rank III plans with overlapping boundaries, where a policy or regulation conflicts, the VTSDP prevails, unless otherwise stated in this Plan. In areas with overlapping boundaries, where one plan is silent, the policies/regulations of the other plan prevail. (See **Exhibit 9, Northwest Mesa Escarpment Plan Boundary.**)

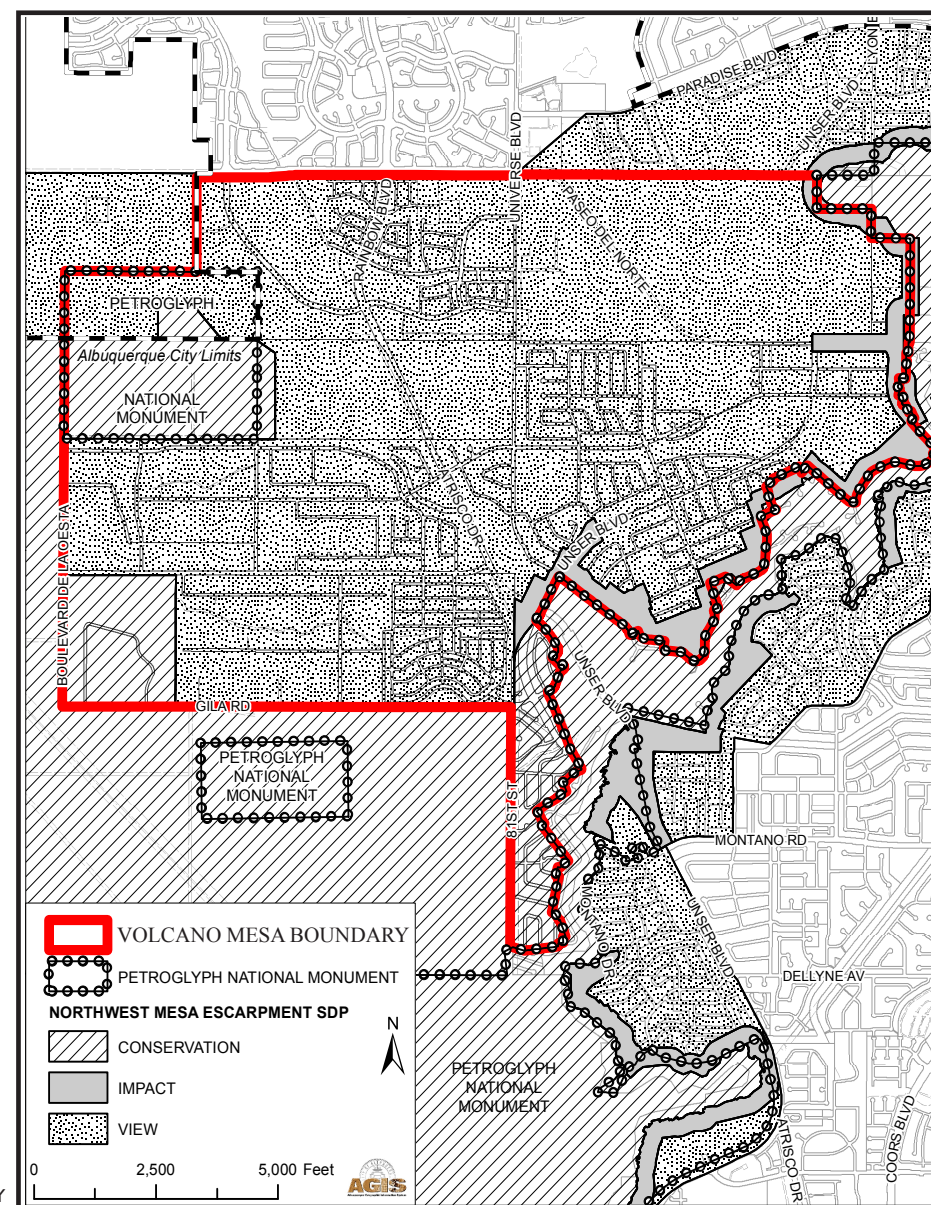


EXHIBIT 9: NORTHWEST MESA ESCARPMENT PLAN BOUNDARY

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CHAPTER 2

plan goals

CHAPTER 2

Goals for Volcano Trails

The Plan's zoning and development standards are intended to create a context-sensitive development that realizes the policies established by the WSSP Volcano Mesa amendment.

- 1. Promote Residential Diversity.* In order to encourage a range of housing opportunities for various ages and incomes, the Trails development will include apartments, townhouses, small-lot, and medium-lot single-family residential development to attract a diverse population.
- 2. Create Healthy Residential Neighborhoods.* Street- and courtyard-facing residences support neighborhoods and improve safety because entrances and windows face pedestrian paths. Street-facing buildings keep “eyes on the street” and deter unwanted behavior. Furthermore, when paired with calm streets, street-facing architecture can encourage neighbors to come together and socialize. Blank walls, garage doors, and parking lots have deleterious effects on streets (and parks) and shall be avoided or mitigated.
- 3. Create Neighborhood Retail Centers.* Convenience stores and other neighborhood retail, like a grocery store, drugstore and hardware store, are encouraged within Neighborhood Centers to bring retail, commercial, and community services within walking distance of homes.
- 4. Ensure Quality Design and Sensitivity to Climate.* The quality of individual buildings contributes to the sense of place and permanence. Development standards will apply to individual buildings, lighting, utilities, walls, and landscape design, with the intent of creating a high-quality built environment with lasting character that draws on southwestern regional styles and traditions. Individual design expression and diverse land-use character can flourish within an overall framework of quality. Building design, architectural elements, drainage, and site design should work together to conserve and harvest rainwater, provide shade as relief from harsh sunlight and heat, and offer protection from seasonal winds and rain.

5. *Create Neighborhood Edge/Transitions from Open Space areas and the Petroglyph National Monument.* Roads or landscape buffers should be planned as transitions from Major Public Open Space and the Petroglyph National Monument to residential or commercial development. The preferred transition from the Petroglyph National Monument's Northern Geologic Window to development is a single-loaded street (i.e. a street with development only on the side not abutting the Monument). Requirements for fencing, landscaping, and heights are more restrictive within 200 feet of the Northern Geologic Window. Building colors should be in harmony with the desert palette. Preferred fencing is stucco walls or coyote fencing. Native vegetation should be used wherever landscaping is visible to the public from the public right-of-way.

6. *Protect important views, vistas, and view corridors.* Important views from locations within Volcano Trails to the Rio Grande basin, across the city of Albuquerque, and to the Sandia Mountains should be protected. Building height limits, site layout, and street orientation are all important tools to protect views into, out of, and through this unique area in perpetuity for nearby residents as well as all Albuquerque citizens and visitors. As development within the Trails will be visible from most of the City of Albuquerque, care should be taken to achieve development that is not visually intrusive, especially in the lower-density residential areas adjacent to the Petroglyph National Monument. To minimize the visual impact of development, predominant colors used on structures should blend with the natural colors of the mesa.

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CHAPTER 3

zoning and general standards

CHAPTER 3

This chapter establishes the framework necessary to implement the Plan. It establishes SU-2 zoning for most undeveloped properties within the Plan boundary and the development review process associated with the SU-2 zones. Not all properties are rezoned with this Plan. The areas with development pre-existing or approved prior to the adoption of this Plan or that were exempted from the development moratorium during the planning process retain their existing RD zoning. (See **Exhibit 4, Volcano Trails Exempted Areas.**)

- Section **I – Zoning** in this Chapter establishes a framework for future growth that encourages walkable, transit-supportive districts, while also maintaining many of the area’s scenic qualities and conserving unique ecological and archaeological assets.
- Section **II – General Standards** in this Chapter contains additional standards that apply across different zones. Properties zoned SU-2/VTVC, SU-2/VTUR, SU-2/VTRD, SU-2/VTSL, and SU-2/VTML must comply with the provisions of the General Standards section as applicable.

ZONING AND GENERAL STANDARDS

Development Review Process.

It is important that the procedures for development allow for a streamlined review and approval process when a proposal is consistent with the Plan standards, as well as provide flexibility to amend regulatory requirements. This process is illustrated in **Table 2** below. When there is any inconsistency with other City regulations and standards, the regulations and standards contained in the Plan take precedence.

Table 2, Development Approval Process describes the development review and approval process for properties located within the Plan area.

TABLE 2: DEVELOPMENT APPROVAL PROCESS

DEVELOPMENT ZONE	DEVELOPMENT APPROVAL PROCESS	SITE PLAN TYPE
SU-2 Volcano Trails Village Center (VTVC)	DRB with Planning Director	Commercial Master Plan for Development
SU-2 Volcano Trails Urban Residential (VTUR)	DRB	No additional plan required
SU-2 Volcano Trails Residential Developing Area (VTRD)	DRB	Site Development Plan for Subdivision
SU-2 Volcano Trails Small Lot (VTSL)	DRB	Site Development Plan for Subdivision
SU-2 Volcano Trails Medium Lot (VTML)	DRB	Site Development Plan for Subdivision
SU-2 Residential Developing Area (RD)	per City Zoning Code for RD	per City Zoning Code for RD
SU-2 Volcano Trails Open Space	DRB	Site Development Plan for Building Permit

ZONING AND GENERAL STANDARDS

Permitted Deviations

While the regulations adopted by the Plan attempt to address the varied conditions for development throughout the Plan area, no regulation can predict the unique factors related to a specific site or proposal that may arise during its implementation. As such, deviations from the standards are permitted, as described below.

Unless otherwise restricted within this Plan, deviations from dimensional standards shall be handled as follows:

Minor: Deviations from any dimensional standard of up to 10% or from any non-dimensional standard, such as color, may be approved by the Planning Director or his/her designee.

Major: Any deviations of 10-20% from any dimensional standard or to permitted and prohibited uses shall be reviewed by the EPC via the site development plan approval process; deviations of 20% or more are not allowed. In order for the EPC to grant the deviation(s) and approve the site development plan, the applicant must demonstrate the following:

- 1) the original standard(s) cannot be reasonably met without substantial hardship due to the uniqueness of the site, and
- 2) applicable goals and policies of the Volcano Trails Sector Development Plan are still met, even with the proposed deviation(s).

Zoning Intent and Character

The development standards for each of the zones are located in the following section **I-Zoning** in this Chapter.

- **SU-2 Volcano Trails/Village Center (VTVC).** The Village Centers offers a “sense of place” through designated space for local retail, services, and schools within walking distance of most homes. Besides shops, the Village Center is intended to include housing, a small park (parks smaller than 2 acres shall be privately owned and maintained), and community facilities.
- **SU-2 Volcano Trails/Urban Residential (VTUR).** Urban Residential development allows a variety of urban housing types within a network of livable, pedestrian-friendly streets, including courtyard housing, loft apartments, patio homes, townhouses, duplexes, and detached single-family homes on small lots.
- **SU-2 Volcano Trails Residential Developing Area (VTRD).** Residential Developing Area allows for RD zoning and approval process per City Zoning Code §14-16-2-14. Lots without alleys shall be limited to a minimum lot size of 3,600 square feet. On alley lots minimum lot size shall be 3,000 square feet. All development in the Volcano Trails/RD zone shall meet applicable requirements in **Section II – General Standards**.
- **SU-2 Volcano Trails/Suburban Residential–Small Lot (VTSL).** Suburban Residential–Small Lot development allows typical modern suburban lot sizes but with rear access alleys, houses moved up to the sidewalk, front porches, and other features to create a more pedestrian-friendly environment.
- **SU-2 Volcano Trails/Suburban Residential–Medium Lot (VTML).** Suburban Residential–Medium Lot development allows homes on larger lots, built in a way that protects the natural environment and preserves significant view corridors.
- **Residential Developing Area (RD).** This area was exempted from the planning process and retains its existing zoning and is subject to the regulations of the RD zone per the City Zoning Code §14-16-2-14.
- **SU-2 Volcano Trails Open Space.** This area includes proposed and existing privately owned and maintained (i.e. Homeowners Association-owned and maintained) parks, open space, and trails, which meet the developer’s Off-site Open Space dedication requirements.

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I – ZONING

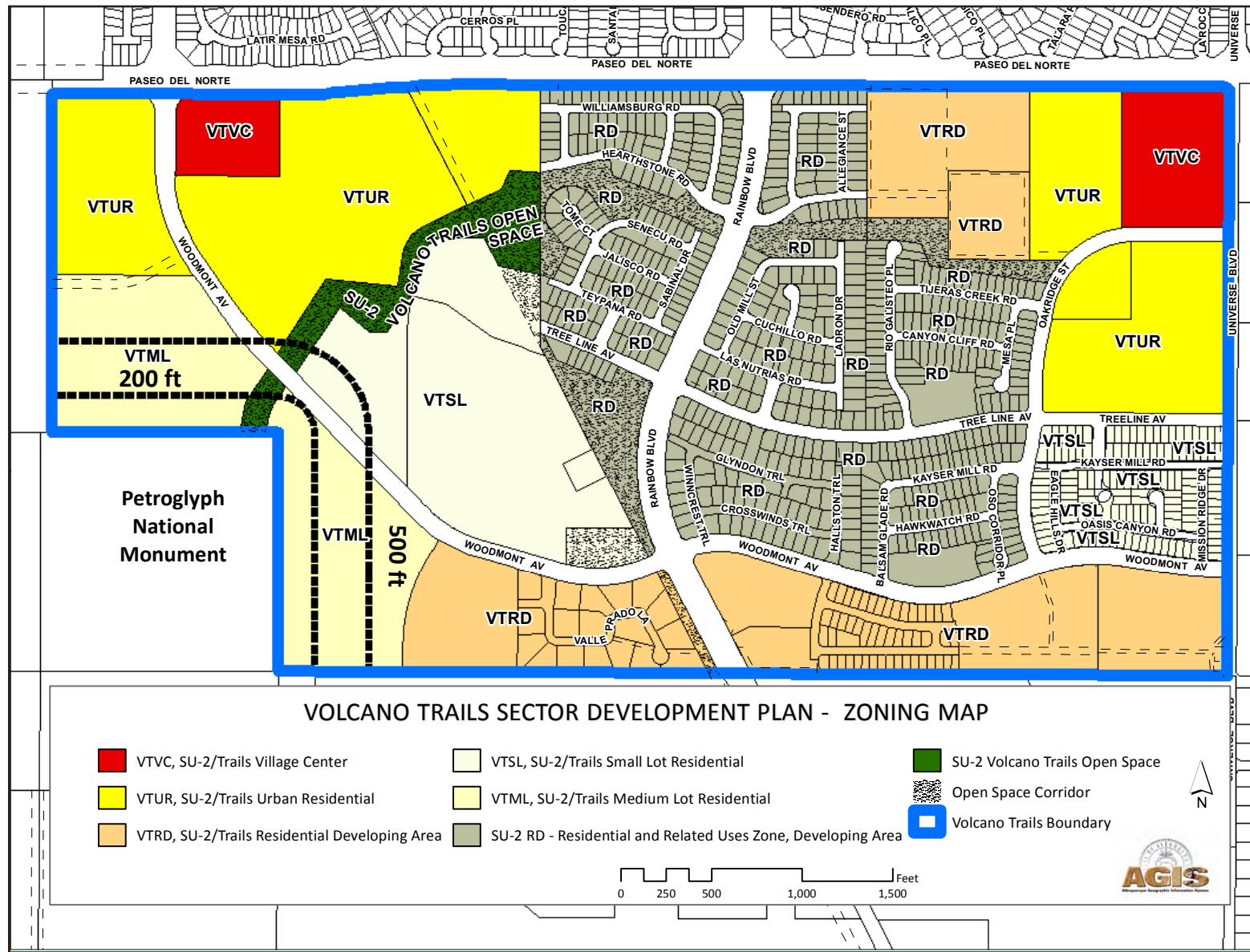


EXHIBIT 10: ZONING ESTABLISHED BY THE VOLCANO TRAILS SECTOR DEVELOPMENT PLAN

Pre-existing Standards for Development. The following regulations were established for exempted tracts prior to the adoption of this Plan. (See **Exhibit 4, Volcano Trails Exempted Tracts.**) Where there is a conflict between these requirements and the requirements in other sections of this Plan, these requirements shall prevail:

1. Subdivisions and site development plans approved prior to the adoption of this Plan are subject only to the requirements in place at the time of their approval. This includes the Cantata @ the Trails approved by the DRB in October 2007 (Project #1002962 / Case #07DRB-00613). (See **Exhibit 10.**)
2. The privately owned and maintained pocket parks and open space zoned SU-2 Volcano Trails Open Space, existing open space corridor, and dedicated public park shall count toward the developer's open space dedication requirements. (See **Exhibit 7.**)
3. A new street connection shall be provided from Woodmont to the Northern Geologic Window to allow maintenance access for City vehicles. The ultimate location is to be determined via coordination between the City and the property owner.
4. The ultimate location of the street to serve the APS schools south of the Plan area may be changed subject to and in conjunction with the road to the Northern Geologic Window referenced above. The ultimate location is to be determined via coordination between the City and the property owner. The proposed street shall be coordinated with the City Open Space Division to ensure that one street provides adequate and acceptable access for both APS and the Northern Geologic Window.
5. A new street connection shall be shown as a dotted line from Woodmont west to private property in Bernalillo County.

The Zones. The following section contains the development standards for new SU-2 zones established by the Plan.

SU-2/VTVC

Village Center Zone

Mixed-use areas at the neighborhood scale extend goods and services to locations that may not be able to support major retail, but might support small offices, shops, community facilities, and/or residential developments with ground floor home occupations, including office, retail, and service activities. Mixed-use areas may be used to create small retail centers to provide a “sense of place” for residential neighborhoods. Neighborhood Mixed Use zoning provides the opportunity for diverse housing retail, small parks, and civic facilities to create vibrant communities.

A. GENERAL

Permitted Uses

1. R-T, R-G, R-2, RC, O-1, C-1, with the following additions and exceptions:
 - a. Parking structures shall be permitted with ground level uses along the street façade.
 - b. Single-family detached development is prohibited.
 - c. Gated and/or walled developments are prohibited.
 - d. Drive-in restaurants, drive-up service windows, commercial surface parking lots (i.e. commercial enterprises for four or more vehicles for a fee not associated with another use on the same site), and/or off-premise signs are not permitted.
 - e. On-premise signs are permitted as regulated in the C-1 zone per City Zoning Code §14-16-2-16(A)(11) with the following exceptions and additions:
 - i. Signs may project more than one foot into the right-of-way per City Encroachment Agreement requirements.
 - ii. Height of free-standing signs shall not exceed 8 feet.
 - iii. See **Section II – General Standards B.11** for additional requirements.

- f. Vehicle sales, rental, service, repair and storage shall be in a completely enclosed building or located completely behind a building.
- g. Conditional uses in R-T, R-G, R-2, O-1, C-1 shall be conditional uses, except as prohibited above.

Development Densities

Both FAR and dwelling unit (du)/acre need to be addressed in a mixed-use development.

1. Allowable development densities are as follows:
 - a. Minimum: 0.30 FAR
 - b. Maximum: None
 - c. Residential Densities are as follows.
 - i. Minimum: 20 du/acre
 - ii. Maximum: 40 du/acre
 - iii. Residential densities apply to gross developable area for residential uses, exclusive of site constraints such as undevelopable land and parks and inclusive of streets and parking. Undevelopable land shall be defined as land that is not suitable for cut or fill and includes, but is not limited to, significant rock outcroppings as defined in **Section II – General Standards A. Preservation Set-backs 2.**
2. See **Section II – General Standards A. Density** for calculation method.

Lot sizes

1. Lot sizes shall be limited as follows:
 - a. Minimum: None
 - b. Maximum: 300 feet wide and 300 feet deep
 - c. Lots may exceed 90,000 square feet if a private walkway a minimum of 12 feet wide connects a minimum of two public streets through the lot at least every 300 feet measured along the street façade.

B. BUILDING PLACEMENT AND FORM

Setbacks and Building Frontage

1. Building setbacks are measured from the property line and shall be as follows:
 - a. Front setback: No minimum
15 feet maximum
 - i. Exception. 50% of the building frontage may be setback an additional 20 feet for a landscaped courtyard or plaza.
 - b. Side setback:

Attached:	None
Detached:	5 feet minimum
 - c. Rear setback:

Without alley:	15 feet minimum
With alley:	5 feet minimum

2. Street Frontage Requirements:

For lots with 40 linear feet or more of street frontage:

- a. A minimum of 50% of building façade shall maintain a maximum front setback of 5 feet.
Street frontage need not be continuous.
- b. Landscaped plazas and/or passages may be used in lieu of building for up to 50% of the available frontage.

Height

1. Building Height limits are as follows:
Maximum: 35 feet
2. See **Section II – General Standards A.Heights** for additional requirements.

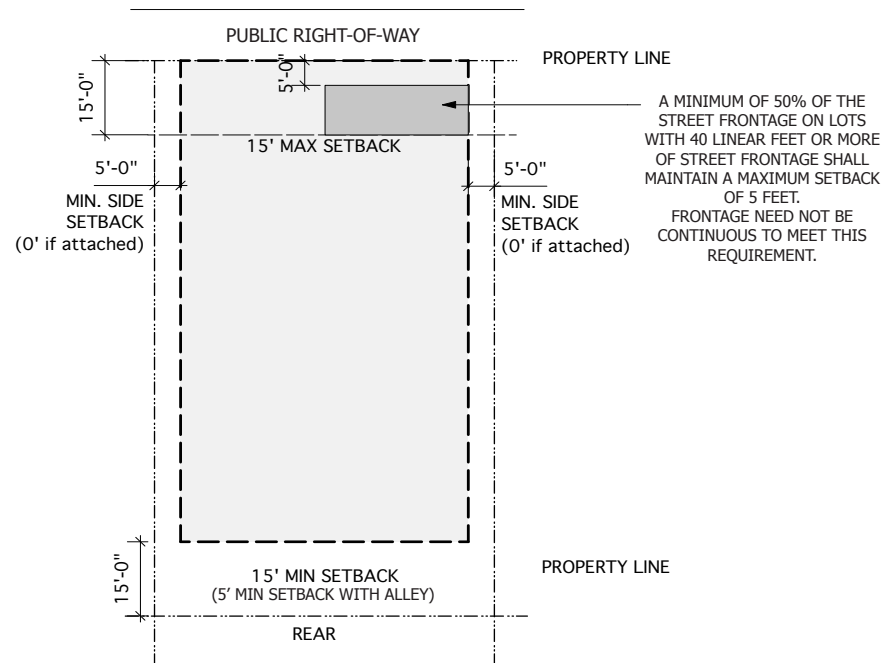


EXHIBIT 11: SU-2/VTVC BUILDING PLACEMENT DIAGRAM

Building Articulation

1. The following standards shall apply:
 - a. **Transparency.** At least 25% of the ground floor façade of street-facing elevations shall be comprised of windows and/or entrances.
 - i. Exception: Ground-level, street-facing façades that are not the primary entrances and are located on streets classified as Arterial or higher may utilize Window Cases located a minimum of 20 feet on center per Planning Director (or his/her designee) approval. See **Section II – General Standards B.5.** for additional requirements.
 - b. Residential garages shall be setback from the front façade. See **Section II – General Standards B.8.**
 - c. A minimum of 50% of the street frontage shall be accompanied by portals, verandas and/or arcades. See **Section II – General Standards B.7.**
2. See **Section II – General Standards B** for additional requirements.

C. LANDSCAPE REQUIREMENTS

1. The following requirements shall apply:
 - a. Non-residential development shall meet city standard landscape requirements per City Zoning Code §14-16-3-10.
 - b. Plants shall be from **Chapter 4 General Regulation B – Plant List A** and/or **Plant List B**.
 - c. Walls shall be limited to 6 feet in height and within 3 feet of the front yard setback.

2. See **Section II – General Standards A** and **C** for additional requirements.

D. USABLE OPEN SPACE REQUIREMENTS

1. Multifamily dwellings:
 - Private: 60 square feet/du minimum AND
 - Shared: 80 square feet/du minimum
2. Off-site Open Space dedication requirements are met by existing or proposed parks and trails.
3. **Plaza or Courtyard Public Space.** All commercial development over 2 acres shall include a minimum of 1,000 square feet of privately owned and maintained public space adjacent to retail/office areas. Public space shall be hardscaped, with seating and shading covering a minimum of 50% of the area. Shade coverage may be trees or other shading devices. Public space shall be linked to the main entrance of adjacent structures by a public sidewalk and have pedestrian-scale lighting and trash receptacles.
4. See **Section II – General Standards D** for additional requirements.

E. PARKING REQUIREMENTS

1. Parking Calculations are as follows:
 - a. Residential: 1/unit minimum
 - b. Non-Residential: 1/1,000 square feet minimum
2. See **Section II – General Standards E** for additional requirements.

A. GENERAL**Permitted Uses**

1. R-T and R-2, with the following additions and exceptions:
 - a. Within 250 feet of RD development existing at the time of this Plan's adoption along Williamsburg and Hearthstone Roads (Heritage at The Trails, Unit 1), only R-1 is permitted. This buffer is intended to allow a future single north/south street and development of two rows of single-family houses.
 - b. A minor second dwelling unit up to 650 square feet associated with a single-family dwelling unit shall be permitted except in the front yard.
 - c. Parking structures shall be permitted.
 - d. Gated and/or walled developments are prohibited.

Development Densities

1. Allowable development densities are as follows:
 - a. Minimum: 10 du/acre
 - b. Maximum: 20 du/acre
 - c. Residential densities apply to gross developable area for residential uses, exclusive of site constraints such as undevelopable land and parks, exclusive of minor second dwelling unit, and inclusive of streets and parking. Undevelopable land shall be defined as land that is not suitable for cut or fill and includes, but is not limited to, significant rock outcroppings as defined in **Section II – General Standards A. Preservation Setbacks 2.**
2. See **Section II – General Standards A. Density** for additional requirements.

Lot Sizes

1. The following requirements shall apply for single-family detached development:
 - a. On lots without alleys, minimum lot size shall be 3,600 square feet.
 - b. On alley lots minimum lot size shall be 3,000 square feet.
2. The following requirements shall apply for townhouse (R-T) development:
 - a. R-T development shall be permitted on a minimum lot size of 20 by 90 feet.

SU-2/VTUR**Urban Residential Zone**

The Urban Residential zone provides a diverse range of mixed-density housing in order to suit a range of lifestyles in a pedestrian-oriented residential environment.

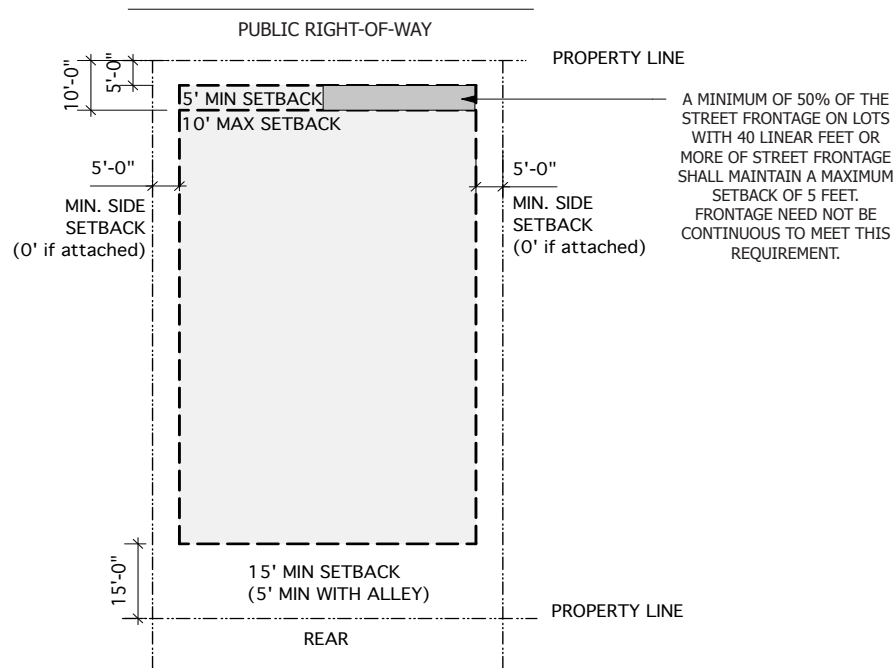


EXHIBIT 12: SU-2/VTUR BUILDING PLACEMENT DIAGRAM

B. BUILDING PLACEMENT AND FORM

Setbacks and Building Frontage

- Building setbacks are measured from the property line and shall be as follows:

- Front setback:

Minimum: 5 feet
Maximum: 15 feet

- Side setback:

Attached: None
Detached: 5 feet minimum

- Rear setback:

Without alleys: 15 feet minimum
With alleys: 5 feet minimum

- Street Frontage Requirements for lots with 40 linear feet or more of street frontage:

- A minimum of 50% of building façade shall maintain a maximum front setback of 5 feet. Street frontage need not be continuous.

- Landscaped courtyards and/or passages may be used in lieu of building for up to 25% of the available frontage.

- See **Section II – General Standards B** for additional requirements.

Height

- Building Height limits are as follows:

Maximum: 35 feet

- See **Section II – General Standards A.Heights** for additional requirements.

Building Articulation

1. The following articulation standards shall apply to buildings in the SU-2 VTUR zone:
 - a. **Transparency.** At least 25% of the area of the street-facing elevations shall be comprised of windows and/or entrances. Ground-level, street-facing façades that are not the primary entrances and are located on streets classified as Arterial or higher may use Window Cases located a minimum of 20 feet on center per Planning Director (or his/her designee) approval. See **Section II – General Standards B.5.** for additional requirements.
 - b. Residential garages shall be setback from the front façade. See **Section II – General Standards B.8.** for additional requirements.
 - c. Each detached, single-family dwelling unit shall address the street with one of the following three options. In the case of a developer constructing 3 or more detached, single-family dwelling units, at least 2 of every 3 shall incorporate a porch or a courtyard. See **Section II – General Standards B.7** for additional requirements.

Options:

- a porch or stoop at least 5 feet in depth
- a walled courtyard with entrance easily visible from the public right-of-way
- a window on the front façade that directly faces the street

2. See **Section II – General Standards B** for additional requirements.

C. LANDSCAPE REQUIREMENTS

1. The following landscape requirements shall apply to all development in the VTUR zone:
 - a. One tree and 50% vegetative cover in front of all single family lots.
 - b. All non-single-family development shall follow City Standard Landscaping requirements per City Zoning Code §14-16-3-10.
 - c. Plants shall be from **Chapter 4 General Regulation B – Plant List A** and/or **Plant List B**.
 - d. Walls shall be per City Zoning Code §14-16-3-19. See **Section II – General Standards A.Heights** and **C.1.** for additional requirements and exceptions.
2. See **Section II – General Standards A** and **C** for additional requirements.

D. USABLE OPEN SPACE REQUIREMENTS

1. Multifamily dwellings:
 - Private: 60 square feet/du minimum
 - Shared: 80 square feet/du minimum
2. Off-site Open Space dedication requirements are met by existing or proposed parks and trails.
3. See **Section II – General Standards D** for additional requirements.

E. PARKING REQUIREMENTS

1. Parking Calculations are as follows:
 - a. Residential: 1/du minimum
2. See **Section II – General Standards E** for additional requirements.

SU-2/VTRD**Residential Developing Area Zone**

The Volcano Trails Residential Developing Area Zone provides a predominantly residential area, including a mixture of dwelling unit types, with incidental, related commercial activities.

A. GENERAL**Permitted Uses**

1. RD per City Zoning Code §14-16-2-14 except for the following:
 - a. A minor second dwelling unit up to 650 square feet associated with a single-family detached dwelling unit shall be permitted except in the front yard.
 - b. Gated and/or walled developments are prohibited.

Lot Sizes

1. The following requirements shall apply for single-family detached development:
 - a. On lots without alleys, minimum lot size shall be 3,600 square feet.
 - b. On alley lots minimum lot size shall be 3,000 square feet.

B. BUILDING PLACEMENT AND FORM**Building Articulation**

1. The following articulation standards shall apply to buildings in the SU-2 Trails/RD zone:
 - a. Transparency: At least 25% of the area of the street-facing elevations shall be comprised of windows and/or entrances.
 - b. Residential garages shall be set back from the front façade. See **Section II – General Standards B. 8.** for additional requirements.
 - c. Each dwelling unit shall address the street with one of the following three options. In the case of a developer constructing 3 or more dwelling units, at least 2 of every 3 shall incorporate a porch or walled courtyard. See **Section II – General Standards B.7** for additional requirements.

Options:

- a porch or stoop at least 5 feet in depth
- a walled courtyard with entrance easily visible from the public right-of-way
- a window on the front façade that directly faces the street

2. See **Section II – General Standards B** for additional requirements.



C. LANDSCAPE REQUIREMENTS

1. The following landscape requirements shall apply to all development in the VTRD zone:
 - a. One tree and 50% vegetative cover in front of all single family lots.
 - b. All development that is not single-family residential shall follow City Standard Landscaping requirements per City Zoning Code §14-16-3-10.
 - c. Plants shall be from **Chapter 4 General Regulation B** – Plant List A and/or Plant List B.
 - d. Walls shall be per City Zoning Code §14-16-3-19. See **Section II – General Standards A.Heights** and **C.1.** for additional requirements and exceptions.
 - e. Off-street pedestrian connections via a landscaped parkway with a trail on one side shall be permitted in lieu of street sidewalks.
2. See **Section II – General Standards C** for additional requirements.

D. USABLE OPEN SPACE REQUIREMENTS

1. No additional requirements to RD.

E. PARKING REQUIREMENTS

1. No additional requirements to RD.

SU-2/VTSL

Small Lot Zone

The Small Lot zone consists of standard residential lot sizes, single family type houses moved up to the sidewalk with front porches, garages setback from the main façade and other features to create a more pedestrian friendly environment.

A. GENERAL

Permitted Uses

1. R-1 with the following additions and exceptions:
 - a. A minor second dwelling unit up to 650 square feet associated with a single-family detached dwelling unit shall be permitted except in the front yard.
 - b. Multiple single-family houses are permitted on a single lot.
 - c. Gated and/or walled developments are prohibited.

Development Densities

1. Allowable development densities are as follows:
 - a. Minimum 1.5 du/acre.
 - b. Maximum 10 du/acre.
 - c. Residential densities apply to gross developable area for residential uses, exclusive of site constraints such as undevelopable land and parks, exclusive of minor second dwelling unit, and inclusive of streets and parking. Undevelopable land shall be defined as land that is not suitable for cut or fill and includes, but is not limited to, significant rock outcroppings as defined in **Section II – General Standards A. Preservation Setbacks 2.**
2. See **Section II – General Standards A. Density** for additional requirements.

Lot Sizes

1. The following requirements shall apply for single-family, detached residential development:
 - a. On lots without alleys minimum lot size shall be 3,600 square feet.
 - b. On alley lots minimum lot size shall be 3,000 square feet.

B. BUILDING PLACEMENT AND FORM

Setbacks and Building Frontage

1. Building setbacks are measured from the property line and shall be as follows:
 - a. Front setback:

Minimum:	5 feet
Maximum:	15 feet
 - b. Side setback: 5 feet minimum
 - c. Rear setback:

Without alleys:	15 feet minimum
With alleys:	5 feet minimum
2. Additional Setback Requirements:
 - a. Lots in Taos @ the Trails Unit 2 may have a zero foot (0') side yard setback on one side. (See **Exhibit 4, Volcano Trails Exempted Tracts.**)
3. See **Section II – General Standards B** for additional requirements.

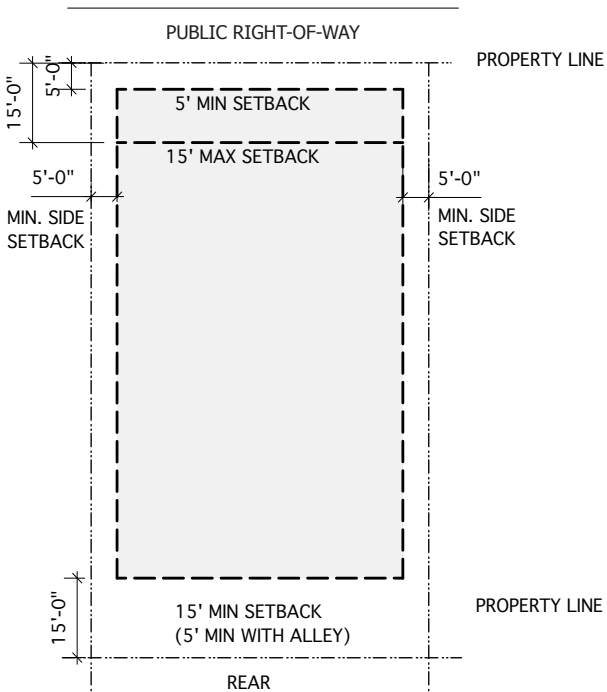


EXHIBIT 13: SU-2/VTSL BUILDING PLACEMENT DIAGRAM

Height

- Building Height limits are as follows:
Minimum: None
Maximum: 26 feet
- See **Section II – General Standards A. Heights** for additional requirements.

Building Articulation

- The following requirements shall apply:
 - Transparency: At least 25% of the area of the street-facing elevations shall be comprised of windows and/or entrances.
 - Residential garages shall be set back from the front façade. See **Section II – General Standards B.8.** for additional requirements.
 - Each dwelling unit shall address the street with one of the following three options. In the case of a developer constructing 3 or more dwelling units, at least 2 of every 3 shall incorporate a porch or a courtyard. See **Section II – General Standards B.7** for additional requirements.

Options:

- a porch or stoop at least 5 feet in depth
 - a walled courtyard with entrance easily visible from the public right-of-way
 - a window on the front façade that directly faces the street
- In all Taos @ the Trails Unit 2 parcels, garages may be either off alleys or accessed via a side drive where one of the garage sides abuts the rear yard setback or is attached to the back of the house. (See **Exhibit 4, Volcano Trails Exempted Tracts.**)
- See **Section II – General Standards B** for additional requirements.

C. LANDSCAPE REQUIREMENTS

- The following requirements shall apply:
 - One tree and 50% vegetative cover in front of all single-family lots.
 - Plants shall be from **Chapter 4 General Regulation B – Plant List A** and/or **Plant List B.**
 - Walls shall be per City Zoning Code §14-16-3-19. See **Section II – General Standards A.2.b.** and **C.1.** for additional requirements and exceptions.
- See **Section II – General Standards A** and **C** for additional requirements.

D. USABLE OPEN SPACE REQUIREMENTS

- Off-site Open Space dedication requirements are met by existing or proposed parks and trails.
- See **Section II – General Standards D** for additional requirements.

E. PARKING REQUIREMENTS

- Parking Calculations are as follows:
 - Residential: 1/du minimum.
- See **Section II – General Standards E** for additional requirements.

SU-2/VTML

Medium Lot Zone

The Medium Lot zone consists of larger residential lot sizes with increased front yard setbacks, height limitations and other features to reduce visual impact.

A. GENERAL

Permitted Uses

1. R-1 with the following additions and exceptions:
 - a. A minor second dwelling unit up to 650 square feet associated with a single-family detached dwelling unit shall be permitted except in the front yard.
 - b. Gated and/or walled developments are prohibited.

Development Densities

1. Allowable development densities are as follows:
 - a. Maximum: 3 du/acre for parcels within 200 feet of the Petroglyph National Monument
 - b. Maximum: 8 du/acre for parcels located more than 200 feet from the Petroglyph National Monument
 - c. Residential densities apply to gross developable area for residential uses, exclusive of site constraints such as undevelopable land and parks, exclusive of minor second dwelling unit, and inclusive of streets and parking. Undevelopable land shall be defined as land that is not suitable for cut or fill and includes, but is not limited to, significant rock outcroppings as defined in **Section II – General Standards A. Preservation Setbacks 2.**
2. See **Section II – General Standards A. Density** for additional requirements.

Lot Size

1. Lot sizes shall be limited as follows
 - a. Lots within 200 feet of the Petroglyph National Monument or Major Public Open Space shall be a minimum of 11,000 square feet.
 - b. Lots more than 200 feet up to 500 feet from the Petroglyph National Monument or Major Public Open Space shall be a minimum of 6,000 square feet.
 - c. Lots more than 500 feet from the Petroglyph National Monument or Major Public Open Space shall be a minimum of 5,000 square feet.

B. BUILDING PLACEMENT AND FORM

Setbacks and Building Frontage

1. Building setbacks are measured from the property line and shall be as follows:
 - a. Front setback: 5 feet minimum
Without a porch: 15 feet maximum
With a porch: 15 feet maximum
 - b. Side setback: 5 feet minimum
 - c. Rear setback:
Without alley: 15 feet minimum
With alley: 5 feet minimum
2. **Section II – General Standards B** for additional requirements.

Height

1. Building Height limits are as follows:
 - a. Minimum: None
 - b. Maximum: 18 feet
 - i. A height allowance up to 26 feet is permitted for a maximum of 50% of the building footprint.
 - ii. Within 200 feet of the Petroglyph National Monument or Major Public Open Space, height is limited to 18 feet.
2. See **Section II – General Standards A.Heights** for additional requirements.

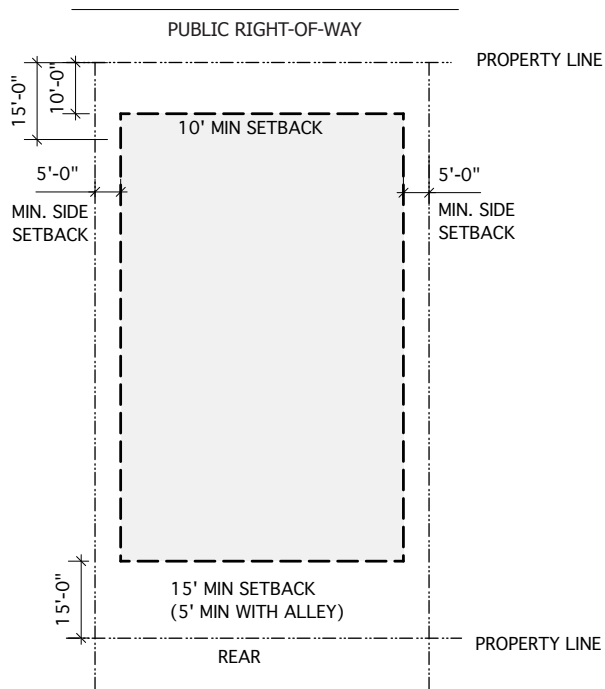


EXHIBIT 14: SU-2/VTML BUILDING PLACEMENT DIAGRAM

Building Articulation

1. On lots adjacent to the Northern Geologic Window, walls shall be view walls.
2. The following standards shall apply:
 - a. **Transparency.** At least 25% of the area of the street-facing elevations shall be comprised of windows and/or entrances.
 - b. Residential garages shall be setback from the front façade. See **Section II – General Standards B.8.** for additional requirements.
 - c. Each dwelling unit shall address the street with one of the following three options. In the case of a developer constructing 3 or more dwelling units, at least 2 of every 3 shall incorporate a porch or a courtyard. See **Section II – General Standards B.7** for additional requirements.

Options:

- a porch or stoop at least 5 feet in depth
 - a walled courtyard with entrance easily visible from the public right-of-way
 - a window on the front façade that directly faces the street
3. See **Section II – General Standards B** for additional requirements.

C. LANDSCAPE REQUIREMENTS

1. The following requirements shall apply:
 - a. One tree and 50% vegetative cover in front of all single family lots.
 - b. Plant Lists.
 - i. Lots within 200 feet of the Petroglyph National Monument shall use plants from **Chapter 4 General Regulation B – Plant List A** only.
 - ii. Lots more than 200 feet from the Petroglyph National Monument shall use plants from **Chapter 4 General Regulation B – Plant List A** and/or **B**.
 - c. Walls shall be per City Zoning Code §14-16-3-19. See **Section II – General Standards A.Heights** and **C.1.** for additional requirements and exceptions.
2. See **Section II – General Standards C** for additional requirements.

D. USABLE OPEN SPACE REQUIREMENTS

1. Off-site Open Space dedication requirements are met by existing or proposed parks and trails.
2. See **Section II – General Standards D** for additional requirements.

E. PARKING REQUIREMENTS

1. Parking Calculations are as follows:
 - a. Residential: 1/du minimum
2. See **Section II – General Standards E** for additional requirements.

II – GENERAL STANDARDS

II – GENERAL STANDARDS

The General Standards are applicable to the following SU-2 zones: Volcano Trails Village Center (VTVC), Volcano Trails Urban Residential, (VTUR), Volcano Trails Small Lot (VTSL), Volcano Trails Medium Lot (VTML), and Volcano Trails Residential Developing Area (VTRD). The General Standards do not apply to property zoned SU-2 Residential Developing Area (RD). The General Standards include General Design Standards, Building Standards, Landscape Standards, Usable Open Space Standards, and Parking Standards.

A. GENERAL DESIGN STANDARDS

Where there is a conflict between the regulations in this document and those of the Northwest Mesa Escarpment Plan, this Plan shall prevail unless otherwise detailed in this Plan. Where one plan is silent, policies and regulations in the other plan prevail.

The General Regulations section of the City Zoning Code §14-16-3-18 shall apply with the following additions and exceptions:

Neighborhood Design

1. Where new residential development is adjacent to a collector street, new lots and homes shall face Collector streets, except where the Planning Director or his/her designee approves exceptions related to technical reasons, such as grading and drainage requirements, or where lots facing away from Residential Collector Streets already exist in platting.
2. The platting of new dead-end streets and cul-de-sacs is prohibited, with the following exceptions: stub streets or “knuckle” culs-de-sac where necessary to reach 4 or less parcels beyond a corner or intersection and mid-block “bubble” culs-de-sac without throats. Where dead-ends cannot be avoided, pedestrian/bike connections shall be provided to open space and/or road networks beyond the dead-end.

Density

1. Undevelopable land shall be defined as land that is not suitable for cut or fill and includes, but is not limited to, significant rock outcroppings as defined in **Section II – General Standards A. Preservation Setbacks 2.**
2. Floor Area Ratio shall be defined as the gross floor area of all buildings at all levels divided by the total of site area of a project minus undevelopable areas (i.e. gross floor area/[total site area – undevelopable areas]). Parking structures shall not be counted toward the gross floor area calculations.
3. Residential densities apply to gross developable area for residential uses, exclusive of site constraints such as undevelopable land and parks, exclusive of minor second dwelling unit, and inclusive of streets and parking.

Heights

1. Heights shall be measured from approved grade.
2. **Exceptions to Zone Height Requirements.** Chimneys and cupolas may extend 10 feet beyond height limits. Screened equipment and flagpoles may extend 6 feet beyond height limits. Screened equipment shall be set back 15 feet from the façade.

Multimodal Streets

Bicycle facilities, including on-street bicycle lanes and multi-use trails, should be designed and developed to meet safety considerations as provided in the Institute for Transportation Engineers (ITE) or American Association of State Highway Transportation Officials (AAS-HTO) standards. [8]

Preservation Setbacks

1. **Petroglyphs.** Development, trails, and recreation areas shall be set back at least 50 feet from prehistoric petroglyphs or other sites with high archaeological value, unless approved by Planning Director (or his/her designee).
 - a. No petroglyph shall be defaced, altered, or moved without approval of a National Park Service representative from the Petroglyph National Monument in consultation with City of Albuquerque Open Space Division staff.
 - b. All other archaeological sites shall be protected or mitigated per City Zoning Code §14-16-3-20. Site treatment shall include preservation, avoidance, testing, or documentation of surface and/or subsurface remains and/or artifacts.
 - c. All rock outcroppings containing petroglyphs shall be protected per City Zoning Code §14-16-3-20.
2. **Rock Outcroppings.** Development, trails, and recreation areas shall be prohibited within a topographic contour elevation line surrounding a significant rock outcropping. This elevation contour shall be decided by the City Open Space division in consultation with the property owner.
 - a. Significant rock outcroppings are defined as bedrock or other stratum a minimum of 6 feet high on its steepest side as measured from the adjacent 10% slope line and in excess of 500 square feet in surface area.
 - b. Significant rock outcroppings, shown on **Exhibit 15**, shall be preserved in place and incorporated into privately-owned open space (open to the public) to be identified on existing and future site plans. These private open space tracts shall be platted and ultimately conveyed to the homeowner's association.
 - c. When subdivision occurs, access shall be provided to the rock outcropping via public right-of-way or public access easement.

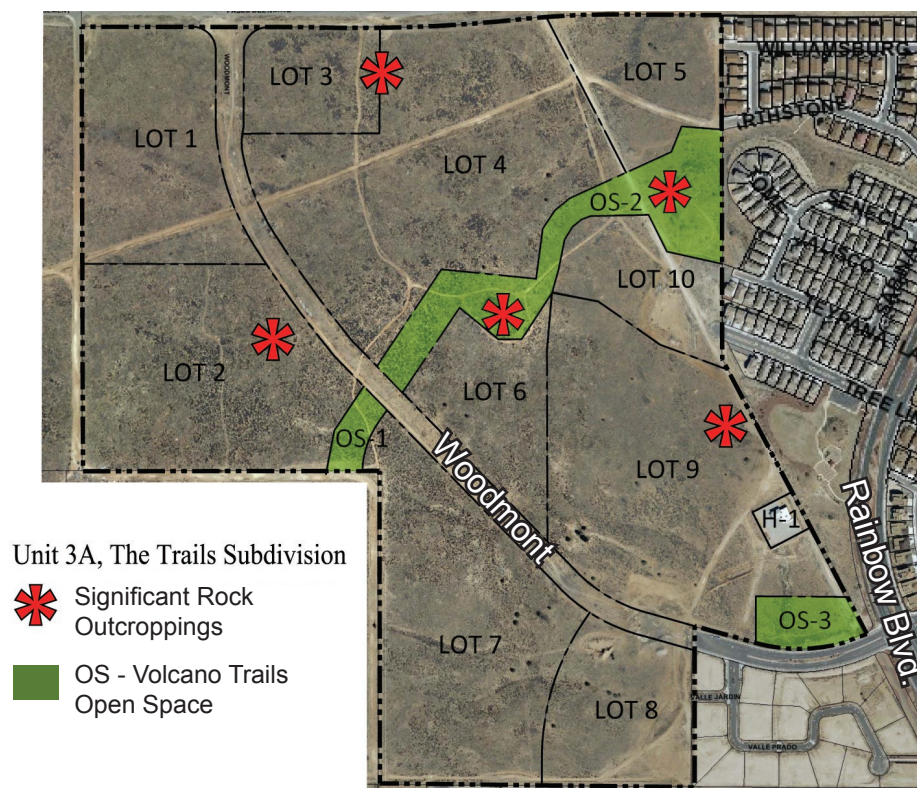


EXHIBIT 15: SIGNIFICANT ROCK OUTCROPPINGS

II – GENERAL STANDARDS

Transitions from the Northern Geologic Window

The preferred transition from the Northern Geologic Window to development is a single-loaded street (i.e. a street with development only on the side not abutting the Petroglyph National Monument). This treatment shall be used for at least 60% of the lineal edge between the Northern Geologic Window and development for new subdivision platting.

Where a single-loaded street is provided, there shall be no development between the roadway and the Northern Geologic Window boundary. Sidewalks or trails may be built along the undeveloped side of the street; in some cases the undeveloped side may shift from one side of the street to the other, but in any event the intent is to have the undeveloped side of the street abut or provide access to public land such as Major Public Open Space or City park.

Utilities

1. **Easements.** In order to facilitate pedestrian movement and maintain accessibility, utility infrastructure such as transformers, boxes, and access panels are to be planned for minimal visual intrusion and mobility impediment to pedestrians. Overhead and underground electric distribution lines are typically located within public utility easements (PUE) or private easements. They are compatible with other “dry” utilities such as cable, telephone and fiber optic facilities. The width of the PUE is typically 10 feet in order to provide necessary clearances for safety. Water lines, sewer lines and storm water drainage or “wet” utilities are not compatible with “dry” utilities, and separation is required for safety purposes. In all zones, Utility Easements shall be located in alleys or rear access and parking areas, if available. Where there is no alley, utility infrastructure may be placed in a PUE or private easement in the front setback of the property, provided it does not substantially affect the pedestrian realm and is located on the edge or side of property and as far away from the main entrance and pedestrian access paths as possible.
2. **Clearance.** Any screening and vegetation surrounding ground-mounted transformers and utility pads shall allow 10 feet of clearance in front of the equipment door and 5 feet of clearance on the remaining 3 sides for access and to ensure work crew and public safety during maintenance and repair. Non-permanent use of clearance, such as for parking, is permitted. Aesthetic improvements are encouraged to minimize visual impact of ground-mounted utility equipment. Trees and shrubs planted in the PUE should be planted to minimize impacts on facilities maintenance and repair.
3. **General.** Electric infrastructure is planned and constructed in response to new development. New electric transmission lines and multiple substations will be needed within the Volcano Mesa area to provide electric service once regional employment center development occurs. Substations typically require two-acre parcels of land. It may be necessary for substations to be located near the electric load in the Plan area. Transmission lines should be located along arterial streets, major drainage channels, non-residential collector streets and other potential corridors as directed by the Facility Plan: Electric System Transmission and Generation (2010-2020). [4]

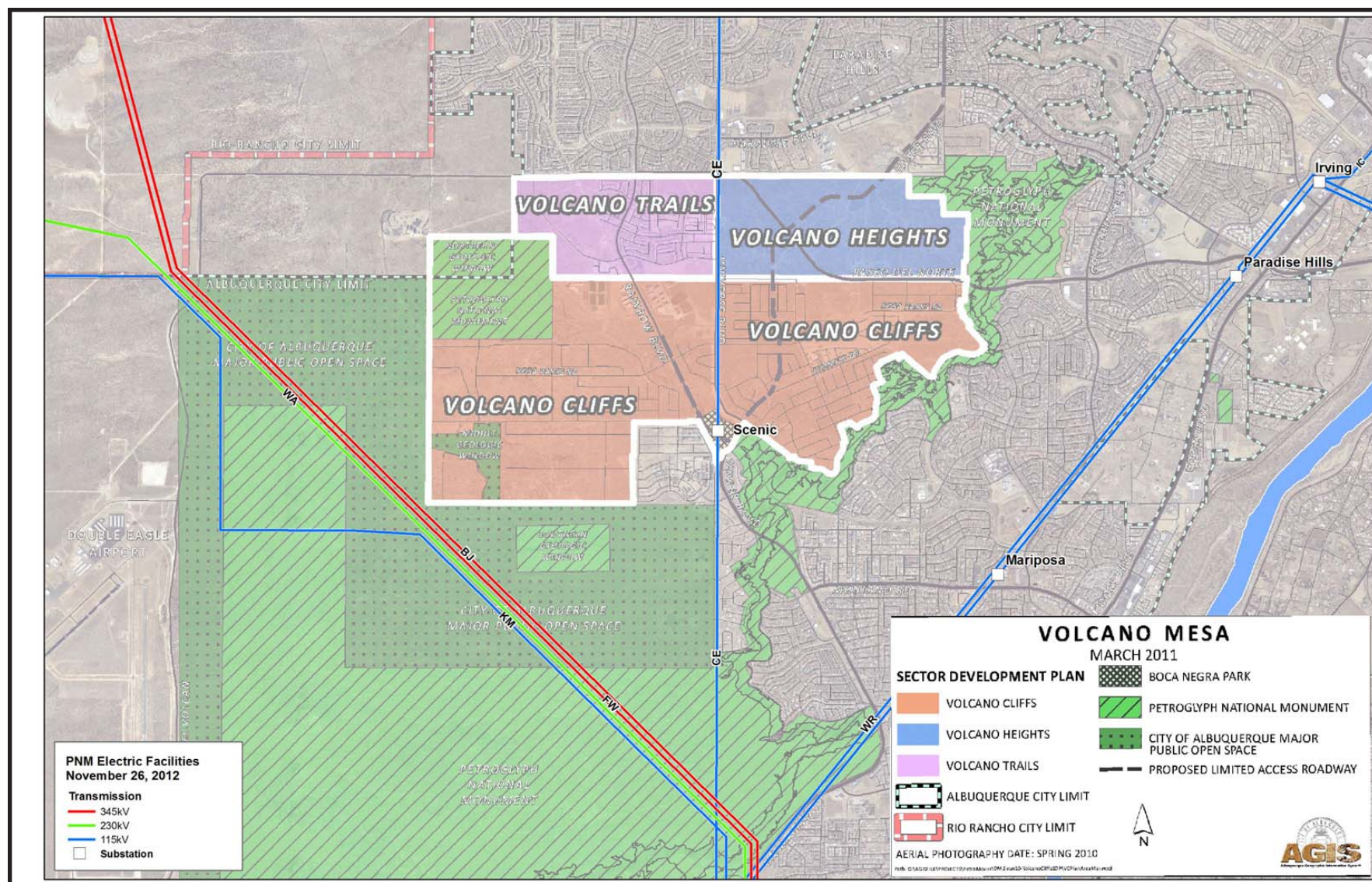


EXHIBIT 16: PNM ELECTRIC FACILITIES

[Updated to show Scenic facility]

II – GENERAL STANDARDS

B. BUILDING DESIGN STANDARDS

The following Building Design Standards shall apply as specified below:

1. **Exterior Finishes.** Building walls shall be stucco, masonry, adobe, and/or native stacked stone (or synthetic equivalent). Plain CMU block, wood, and/or reflective panels shall not be used as an exterior finish. Stucco and concrete shall have integral color [or a final stucco coat with a painted surface matching the color regulations in Chapter 4 General Regulation A – Approved Colors](#). Veneer materials shall extend around exterior corners at least one foot. Brick coping and trims are encouraged. Steel and synthetic wood substitutes are permitted for trim and detailing.
2. **Massing and articulation.** Building massing and articulation are required so that no more than 60 feet of wall may occur without an offset vertically or horizontally of at least 24 inches, or a change in material may be used for articulation at the same interval.
3. **Roofs.** Reflective roofs are prohibited. Parapets shall hide flat roofs from adjacent public rights-of-way and Major Public Open Space. Dimensional asphalt shall be used if asphalt roofing is specified. Solar panels are permitted on roofs and need not be screened.
4. **Building Transparency.** Transparency is measured by taking the total area of all of the windows and entrances and dividing it by the total area of the street-facing building elevations. Glass block, mirrored glass, frosted glass, and other obscured openings may not be used to meet the building transparency requirement.
5. **Window Cases.** Window Cases allow some flexibility in meeting the transparency requirement for commercial uses. Window Cases have transparent fronts and are surface mounted or recessed shallow boxes that are a minimum of 3 feet wide by 5 feet tall. Window Cases shall contain display material at all times and shall not be backlit.
6. **Windows.** Windows shall be recessed in the façade so that the glass plane is a minimum of 2.5 inches from the external plane of the adjacent wall. Glass on any surface shall not be reflective or mirror glass, that is, glass having greater than 15% average daylight exterior reflectance. Highly reflective or mirrored glass is prohibited. Glass for non-residential and mixed-use areas shall have light transmission between exterior and interior rated at a minimum of 90% for the ground story and at least 75% for the upper stories. Modifications are permitted as necessary to meet any applicable building and/or energy code requirements.

II – GENERAL STANDARDS

7. **Entries.** Entries for buildings shall connect to a street via a sidewalk, connecting directly and visibly from the street where possible, otherwise connecting via landscaped courtyard(s) or plaza(s). In addition, residential building entries shall have the following features with the floor area stipulated below:
- Apartment buildings – a covered porch or interior vestibule with 60 square feet floor area and at least 6 feet clear in any direction; interior vestibule entry doors shall be accompanied by an overhang and clear glazing within the door or immediately to the side of the door.
 - Single-family detached houses – the selected entrance option must meet the following relevant condition:
Options:
 - i. A porch or stoop at least 5 feet in depth, employing similar roof and surface treatments and designed to be architecturally integrated with the house structure.
 - ii. A walled courtyard with an entry feature, such as but not limited to a gate, easily visible from the public right-of-way and a minimum of 6 feet wide and height between 6 feet, 8 inches and 8 feet, placed within the appropriate setback, connected by a courtyard wall between 4-5 feet high, and both designed and finished to complement the house in color and architectural style
 - iii. A clear, transparent window or multiple windows of any size on the front façade directly facing the street, located within the area 3-6 feet from the finished floor, and meeting the design requirements in **Building Design Standard B.6. Windows** in this Plan
 - Townhouses – a covered porch, veranda or stoop with 40 square feet floor area and at least 6 feet clear in any direction.

II – GENERAL STANDARDS

8. ~~**Residential Garages.**~~ Garages shall not dominate the front façade. Street-fronting garages shall be per the requirements of **Table 3**. Garages shall not exceed 50% of the total front façade.
- a. ~~Garage doors shall be set back a minimum of 2 feet from the garage facade to create a “shadow box” that minimizes the prominence of the garage door.~~
 - b. ~~Three-car garages are not permitted on lots equal to or less than 48 feet wide. Three-car garages on lots greater than 48 feet wide shall have a third garage setback of 3 feet minimum from the primary garage façade.~~
 - c. ~~On lots less than 48 feet, property owners intending to build garages on the property lot line shall submit a platted and filed maintenance easement agreement signed by the adjacent property owner prior to being issued a building permit.~~
 - d. ~~The color of garage doors shall blend with or complement the exterior wall color in order to minimize the prominence of the garage door. See **B. Building Design Standards 9. Color** for additional requirements.~~
 - e. ~~See **Table 3** for additional garage requirements.~~

II – GENERAL STANDARDS

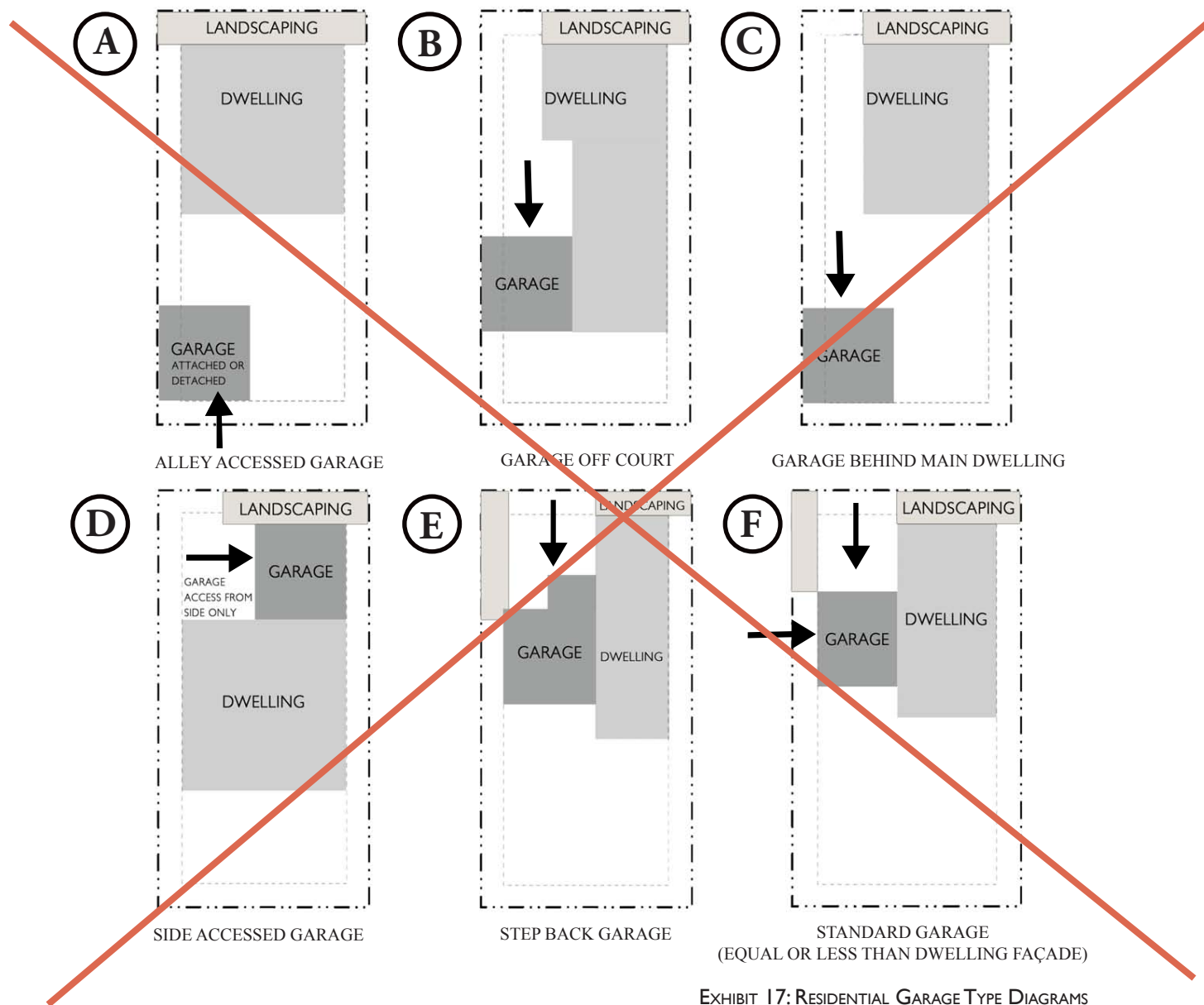


EXHIBIT 17: RESIDENTIAL GARAGE TYPE DIAGRAMS

II – GENERAL STANDARDS

8. Residential Garages.

[Consensus Planning:

- **8.a.i :** delete second sentence.
- **8.a.ii:** delete “town-house”
- **8.a.iii:** add “or 35 feet for townhouses”
- **8.a.iv:** add “(35 feet for townhouses) to
- **8.a.v.:** change to 58 feet
- **8.a.vii:** apply only to lots less than 50 feet wide.
- **8.b.i Question:** How is this calculated?
- **8.b.ii:** Change to 58 feet with a two foot setback from the main facade]
- **8.b.iv:** change to 16 feet wide. Change “multiple” to “three”, replace the rest of the sentence with” the third bay shall be separated by a 16-inch pier or column.”]

a. Access

- i. Where alleys are available, residential garages shall be accessed via the alley. On streets designated Collector or lower, residential garages on corner lots shall be accessed from an alley or side street.
- ii. Where allowed, townhouses and courtyard apartments shall use rear-loaded garages.
- iii. Front-loaded garages on residential lots less than 40 feet wide shall be prohibited. Garages on these lots shall be either Garage Type A or D in **Exhibit 17** per the standards in **Table 3**.
- iv. Lots equal to or greater than 40 feet shall use any of the garage types in **Exhibit 17** per the requirements in **Table 3**.
- v. Front-loaded three-car garages are not permitted on lots equal to or less than 70 feet wide.
- vi. Garage Types D and F may be accessed from either front or side.
- vii. Driveway access, including drive pad but exclusive of wings, is limited to 14 feet for Garage Types B, C, D, E, and F except where providing access from **alleys**.
- viii. Where allowed, property owners intending to build garages on the property lot line shall submit a platted and filed maintenance easement agreement signed by the abutting property owner prior to being issued a building permit.

b. Design

- i. The garage façade area shall not exceed 50% of the total front façade area, inclusive of porches, so that garages shall not dominate the front façade.
- ii. Three-car garages on lots greater than 70 feet wide shall have a third garage setback of three (3) feet minimum from the primary garage façade.
- iii. Where there is no setback from the property line, gutters and downspouts shall drain to the street or water harvesting area to avoid impact to abutting lots.

II – GENERAL STANDARDS

- iv. Individual garage bays shall be no greater than 12 feet wide. For garages with multiple bays, all garage doors shall be divided into single bays separated by at least a 16-inch pier or column.
- v. The color of garage doors shall blend with or complement the exterior wall color in order to minimize the prominence of the garage door.
- vi. Garage Type D shall have a minimum of 5 linear feet of fenestration on the street façade and be articulated to resemble the main structure.

TABLE 3: RESIDENTIAL GARAGE TYPES

LOT WIDTH	ALLOWABLE GARAGE TYPES*	FRONT GARAGE SETBACK	SIDE GARAGE SETBACK	REAR GARAGE SETBACK
GREATER THAN 48 FEET	A, B, C, D, E, F	20' MINIMUM	5' MINIMUM	2' MINIMUM 5' MAXIMUM
40 FEET TO 48 FEET	A, B, C, D, E, F	20' MINIMUM	NONE	2' MINIMUM 5' MAXIMUM
LESS THAN 40 FEET	A, B, C, E	20' MINIMUM	NONE	2' MINIMUM 5' MAXIMUM

[Consensus Planning: Add
35 feet for Townhouses.]

NOTE 1: Setbacks from the property line are regulated first by zone and secondarily by minimums specified above.

NOTE 2: Where setbacks apply to the garage door facade, setbacks shall be measured from the property line to the garage door.

NOTE: 1. ~~Garage Type D shall have a minimum of 5 linear feet of fenestration on the street façade and be articulated to resemble main structure.~~

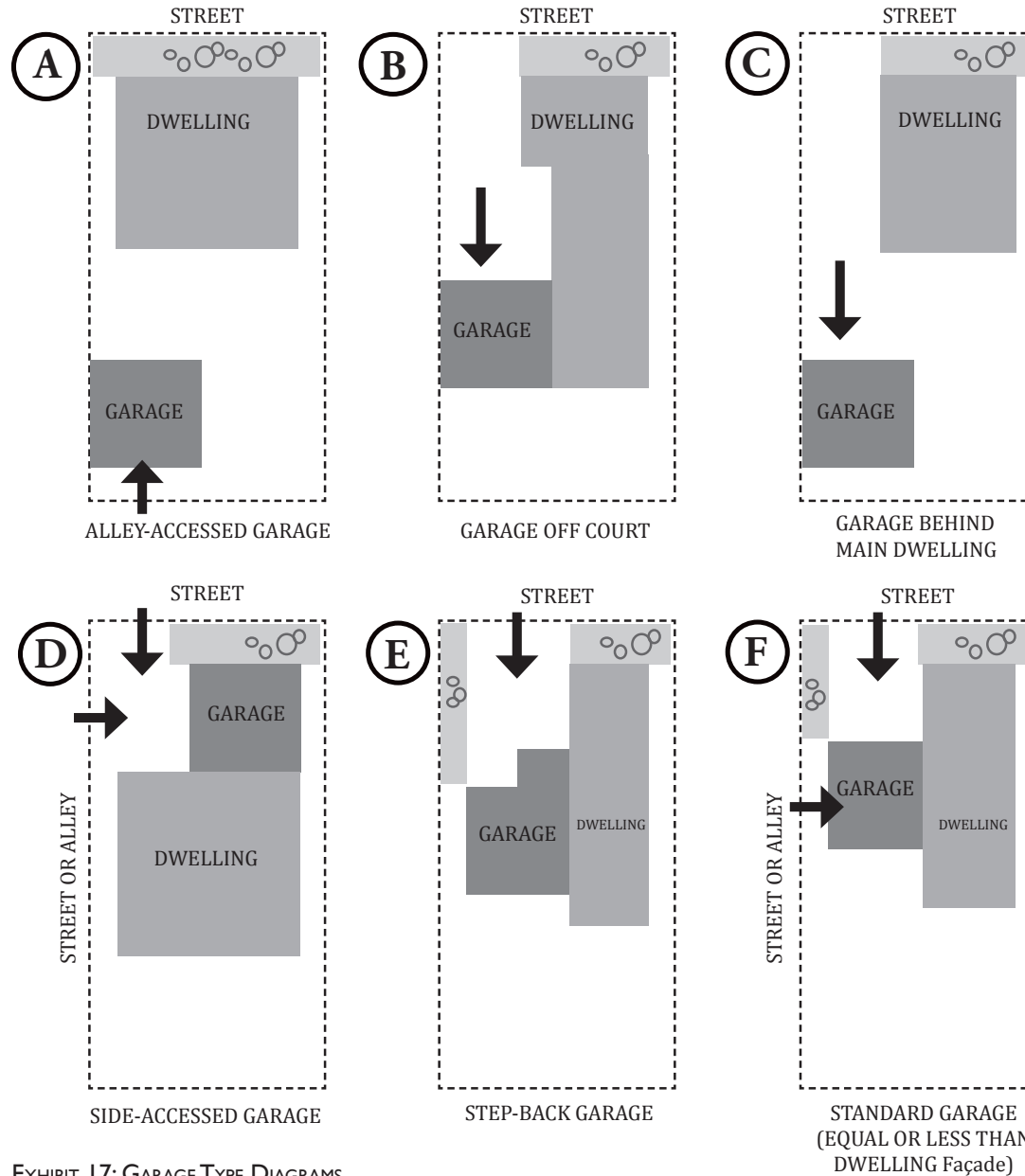
NOTE: 2. ~~Garage Type F may be accessed from either front or side.~~

NOTE: 3. ~~Driveway access from street, including curb cut, is limited to 12 feet for Garage Types A, B, C, D, E, and F except where providing access from alleys.~~

NOTE: 4. ~~On streets designated Collector or lower, residential garages on corner lots shall be accessed from an alley or side street.~~

* See Exhibit 17: Residential Garage Type Diagrams

II – GENERAL STANDARDS



*Note: Diagrams are for illustration only. Diagrams are not to scale. Setbacks are regulated first by zone and secondarily by minimums set in **Table 3**.*

EXHIBIT 17: GARAGE TYPE DIAGRAMS

II – GENERAL STANDARDS

9. **Color.** Colors used on building walls, roofs, and garage doors in SU-2/Volcano Trails Small Lot (VTSL) and SU-2/Volcano Trails Medium Lot (VTML) shall be earth tones and meet reflectivity standards as specified in **Chapter 4 General Regulation A – Approved Colors**. Other colors may only be used as accents. Buildings throughout the Plan area shall not have highly reflective surfaces. Mechanical devices, roof vents, and screening materials are also subject to this regulation, as are fences and walls. Trim materials constituting less than 10% of the façade's opaque surface may be any color.
10. **Service Areas.** Service areas (e.g. loading docks, freestanding mechanical equipment, refuse containers, compactors, recycling receptacles, etc.) shall not be visible from streets or public open spaces. They shall be located away from streets, or recessed within the building envelope, and/or screened from view of streets and Major Public Open Space. Service areas recessed within the building envelope, facing streets, and/or Major Public Open Space shall not comprise more than 20% of a building's linear frontage; and shall be accompanied by roll-up doors.
11. **Commercial Signage.** Signs shall complement the architectural style of the site building(s). Letters shall not exceed 18 inches in height or width and 3 inches in relief.
12. **Awnings.** Awnings shall be cloth or equivalent, metal, or glass. "Quarter-cylinder" awning configurations are not permitted. Lettering on awnings is limited to 9 inches in height.
13. **Energy-Efficient Buildings.** Two or more of the following features shall be included in building design to ensure that buildings are energy efficient:
 - interior daylighting;
 - low-energy consumptive lighting for at least 80% of fixtures;
 - heat-exchange units;
 - super-insulated low-emissive windows;
 - passive or active solar heating;
 - passive or active solar hot water;
 - highly efficient appliances and heating and cooling systems;
 - generation of electricity through wind generation and photovoltaics; and
 - geothermal heating and cooling.

II – GENERAL STANDARDS

C. LANDSCAPE DESIGN STANDARDS

The following Landscape Standards shall apply to all zones as specified below:

1. Walls & Fences Material Finishes & Design.

- a. **Height & Placement.** Walls and fences shall not exceed a height of 36 inches where allowed within street-facing setbacks (except for columns that support arcades or trellises). Retaining walls in all locations shall not exceed 48 inches, unless approved by the City Hydrologist. Fences and walls shall not exceed a height of 72 inches inside required setbacks along rear and interior side property lines. Height shall be measured from the lower side within the required side or rear yard.
 - i. Where existing platting orients the rear or sides of residential lots so that they face toward Residential Collector Streets, solid rear and/or side-yard walls bordering the street and pedestrian realm shall not exceed a height of 48 inches. Twenty-four additional inches of transparent fence material (but not chain-link fencing) are permitted above the solid portion of the wall.
 - b. **Adjacency to Monument and City Open Space.** Properties adjacent to the Petroglyph National Monument and/or Major Public Open Space shall use coyote fencing, post and wire (not barbed), or view fencing. View fencing allows for a general sense of openness, visual transparency, and passive surveillance, while still maintaining perimeter security.
 - c. **Design & Prohibited Materials.** The end of walls shall have a pier or pilaster at least 12 inches wide to give a substantial appearance. Stucco and concrete shall have an integral color. Wood board, cyclone, chain link, and razor wire fencing are prohibited.
 - i. *Perimeter Walls.* Exposed plain block, including all colors, is not allowed on walls visible from or adjacent to the public right-of-way, private open space, or private or public parks.
 - ii. *Site Walls.* Block walls not visible from or adjacent to the public right-of-way, private open space or Major Public Open Space, or private or public parks must have integral color (i.e. plain, grey cement blocks are prohibited).
2. **Private Walkways.** Arcades, trellises, awnings, and/or trees are encouraged along pedestrian paths for shade and spatial definition. In parking lots, private walkways shall not extend more than 75 feet without one of these features.
 3. **Sidewalk Design.** Sidewalks in the public right-of-way shall be designed to facilitate pedestrian accessibility and efficient travel. Curvilinear sidewalks are strongly discouraged. Where possible, planting strips should be used to buffer pedestrians from vehicle traffic and set the pedestrian path back from driveway ramps.

II – GENERAL STANDARDS

4. **Sidewalk Locations.** The location of sidewalks shall reflect the desired character and density of the surrounding land uses. In high- and medium-density neighborhoods (i.e., SU-2/VTVC, SU-2/VTUR, and SU-2/VTSL zones), sidewalks are essential to creating a vibrant, pedestrian lifestyle. In lower-density settings (i.e., SU-2/VTML), the use of sidewalks may be excessive, and connections may be more appropriately provided via trails and gravel shoulders.

Subject to DRB site-plan approval, a wider (6-foot minimum) sidewalk or trail with landscaping on one side of the street may be built where it complements the character of adjacent development in lieu of standard residential sidewalks on each side of the street. This streetscape is encouraged in the following circumstances:

- in lower-density areas,
 - to connect open space and/or parks as a ‘linear park’, and/or
 - along streets with fewer intersections on one side in order to minimize street crossings and traffic conflicts between vehicles and pedestrians.
5. **On-Lot Trees.** Where buildings are placed more than 10 feet from a street-side property line, at least one tree shall be planted per property within the street-side setback. Properties with a street frontage over 100 feet shall have a minimum of one tree for every 40 feet. Street trees on local streets shall be maintained by the property owner. Street trees on collector or higher capacity streets shall be maintained by the City Parks and Recreation Department.
 6. **Site Lighting.** Lighting shall have a cut-off angle that directs light downward and only toward the property on which the light source is located. Light fixtures shall be of a type that throws light downward and have baffles, hoods or diffusers so that no light point source shall be visible from a distance greater than 1,000 feet. On-site light poles shall not exceed a height of 16 feet. High-intensity discharge lamps and sodium lamps shall not be used.
 7. **Gateway Monuments.** Pillars or walls are permitted at entry points to neighborhoods and developments. Walls shall not be more than 12 feet long and conform with **General Standard C.1. Walls & Fences Material Finishes & Design**. Pillars shall not be more than 3 feet in width and 10 feet in height. Pillars and walls shall be stucco, masonry, rammed earth, adobe, native stacked stone (or synthetic equivalent), or straw bale. Exposed plain block, of any color, is not allowed. Stucco and concrete shall have an integral color. (See **Section II – General Standard B.9. Color** for additional requirements.)

II – GENERAL STANDARDS

8. **Grading.** Cut and fill slopes shall be no steeper than 3:1 on average, and retaining walls shall not exceed 4 feet in height unless incorporated within a building's foundation or approved by the City Hydrologist. Graded areas shall maintain the character of the natural terrain by varying gradients, undulating contours, and rounding the toe and crest of any slope greater than 10 feet in height. Fill shall be limited to the minimum required for site development and drainage. Fill shall not exceed the existing highest natural grade point on site, unless approved by the City Hydrologist for required drainage. Height shall be measured from the natural grade. Bikeways and other amenities within the right-of-way shall be provided in such a way as to minimize the extent of disturbance to slopes and vegetation and the need for cut and fill.
9. **Rainwater Quality and Management.** Where appropriate, development projects shall incorporate unobtrusive rainwater features that facilitate the detention and infiltration of rainwater and the filtration of pollutants from urban run-off. At all densities and intensities, appropriate techniques include:
 - permeable pavers & concrete,
 - infiltration beds placed below paved areas,
 - stone-filled reservoirs and dry-wells,
 - roof storage systems & cisterns designed with materials allowed by this Plan,
 - small “rain gardens” (low-lying with moisture-tolerant grasses, wildflowers, shrubs, and trees), and
 - vegetated swales (in courtyards, street medians, and planting strips).
 - a. Materials and treatments used for rainwater management shall be natural in appearance. Channels lined by concrete or rip-rap are prohibited, unless necessary for public safety.
 - b. Fencing shall be avoided; the bottom slopes of detention basins shall be designed for safety. In addition, a hydrological study and design may be required of new development by the City of Albuquerque to identify appropriate rainwater detention and energy dissipation features.
10. **Construction Mitigation.** Construction within the Plan area or parts of the area shall be mitigated per **Chapter 4 General Regulation C – Construction Mitigation**. These regulations are fully part of this regulating plan and shall be enforced as such.

II – GENERAL STANDARDS

11. **Appropriate Plant Lists.** The purpose of regulating plants is to reduce water usage, maintain the character of native plants now existing in the Petroglyph National Monument, and provide a harmonious landscape image. ~~Plantings from the Two~~ plant lists shall guide landscaping within the Plan Area. Shrubs and trees shall be nursery grown. All properties in Volcano Trails more than 200 feet from public lands such as the Petroglyph National Monument, arroyos, and other Major Public Open Space shall use plants listed as ~~native or xeric from the plant list in Chapter 4 General Regulation B from Plant List A and/or B~~. Land disturbed in development shall be re-vegetated using ~~native species from the the appropriate~~ Plant List. (See **Chapter 4 General Regulation C – Construction Mitigation** Standard CM-5.)
- a. ~~List A~~ **List A – Petroglyph National Monument Plant List.** These are plant species ~~selected as appropriate from an inventory of species within the Petroglyph National Monument by the National Park Service in 1994-1995 including almost 200 plants (amended). This~~ Plants listed as native in the plant list in **Chapter 4 General Regulation B** shall be used in specified areas as identified in Table 4 to limit impact of invasive and/or non-native plants on native vegetation.
- b. ~~List B~~ **Xeric Plants List.** These plant species ~~were selected as appropriate for Volcano Trails from are~~ the official xeric or low-water use plant list of the Albuquerque Bernalillo County Water Utility Authority (ABCWUA). ~~The majority of the list is low and medium water-use plants. Some high-water use plants are also listed in order to classify them as such in implementation of the water conservation program. This xeric plant list is extensive and updated periodically by the ABCWUA. Contact the ABCWUA to obtain the most current information. (See contact information provided in~~ Plants listed as xeric in the plant list in **Chapter 4 General Regulation B** shall be used in specified areas as identified in Table 4.

TABLE 4: APPROPRIATE PLANT TYPE

AREAS/ZONING	NATIVE	XERIC
Open Space Areas, Arroyos, Conservation Easements, SU-2 Volcano Trails Open Space	*	
SU-2/VTVC, SU-2/VTUR SU-2/VTRD, SU-2/VTSL SU-2/VTML, SU-2 RD	*	*
Scenic Corridors	*	
Other Roads		*
	* allowed	

II – GENERAL STANDARDS

D. USABLE OPEN SPACE STANDARDS

1. Private Usable Open Space may be a yard, deck, balcony, porch, portal, or patio and shall have an unobstructed dimension of at least 6 feet.
2. Shared Usable Open Space shall be accessible to all project residents and have an unobstructed dimension of at least 40 feet. Shared Usable Open Space may be a park, courtyard, plaza, play area, community facility, roof garden, or some combination thereof.
3. Usable Open Space shall be privately maintained.
4. Off-site Open Space dedication requirements are met by proposed and existing public and private (i.e. Homeowners Association-owned and maintained) parks, open space tracts, and trails. A public pedestrian access easement shall be granted for private parks, open space, and trails, as they are intended for public use.

E. PARKING STANDARDS

1. **Parking Dimensions – On-Site.** On-site parking shall be per the City Zoning Code §14-16-1-5 definition for “Parking Space, Automobile and Light Truck.”
2. **Parking Dimensions – On-Street.** On-street parking spaces may have a length of 20 feet and a width of 7 feet.
3. **Landscaping.** Surface parking shall have one tree planted adjacent to every six parking spaces. Diamond-shaped tree wells (approximately 5 feet by 5 feet) are an efficient means to meet this requirement, as they take advantage of car overhangs. Surface parking lots may not exceed a dimension of 200 feet in any direction without providing a landscaped private walkway.

F. BICYCLE FACILITY STANDARDS: Bicycle facilities, including on-street bicycle lanes and multi-use trails, should be designed and developed to meet safety considerations as provided in the Institute for Transportation Engineers (ITE) or American Association of State Highway Transportation Officials (AASHTO) standards. [8]



CHAPTER 4

general regulations

CHAPTER 4 – GENERAL REGULATIONS

A – APPROVED COLORS

APPROPRIATE COLORS FROM THE NATURAL LANDSCAPE

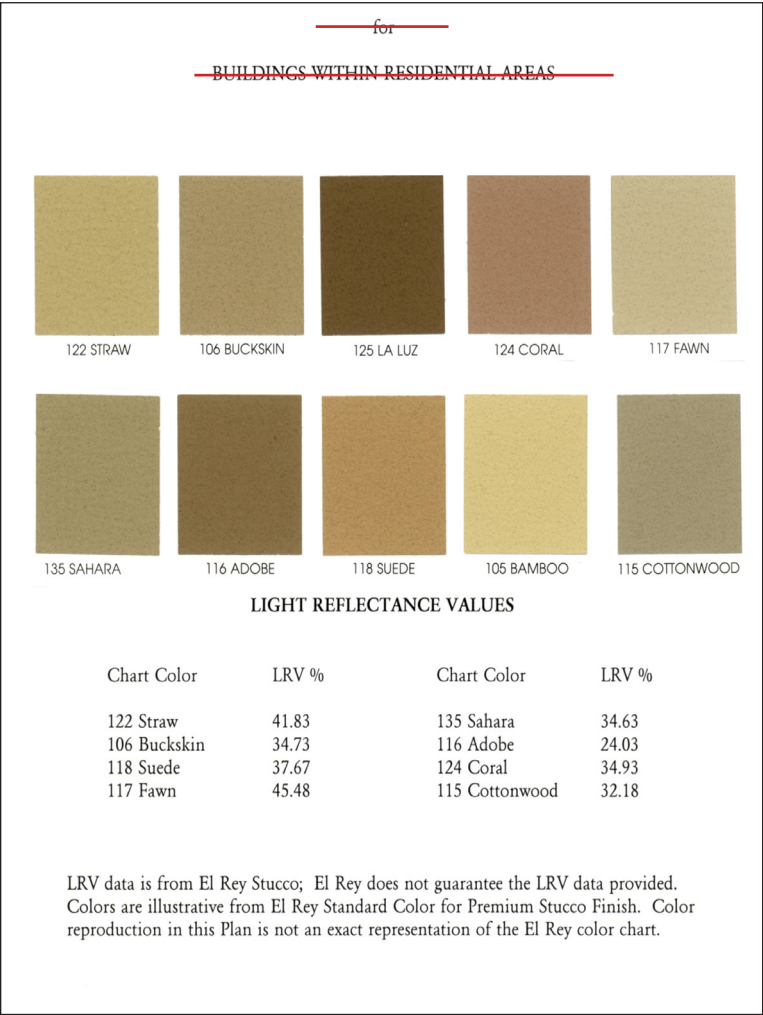


EXHIBIT 18: SAMPLE COLORS WITHIN APPROVED LRV RANGE

Exterior color and reflectivity standards for buildings. ~~residential areas~~

~~In any residential area,~~ Exterior building colors shall have a “light reflective value” (LRV) within the range of 20% to 50% LRV rating. Stucco and other materials with colors similar to those illustrated in **Exhibit 18** may be used, as long as they have integral color or a final stucco coat with a painted surface and meet the standards for reflectivity and harmony with the natural landscape. (See **Chapter 3 Section II – General Standard B.1.** for more details about Exterior Finishes permitted by the Plan.)

In keeping with New Mexico tradition, accent colors on front doors, window sash, and other incidental elements are allowed up to 20% of a façade area as long as the accent does not overwhelm the building’s basic color or create a visual distraction from the adjacent streets, lots, or public areas.

The sample colors illustrated in **Exhibit 18** are stucco with integrated color as manufactured by El Rey traditional cementitious stucco in Albuquerque. El Rey Premium Stucco Finish is a compound of cement, hydrated lime, sand aggregates, and iron oxide pigments. Since the stucco is integrally colored, it will never need to be painted. Like many natural landscapes, the traditional cement stucco is breathable and appears slightly different during each season and at alternate times of the day.

B – ~~NATIVE PLANT LIST~~ ~~A & XERIC PLANT LIST~~ B

TABLE 5: PLANT LIST (TREES)

SCIENTIFIC NAME	COMMON NAME	NATIVE OR XERIC	DECIDUOUS OR EVERGREEN	APPROX. HEIGHT X WIDTH AT MATURITY (IN FT.)
<i>Cercocarpus ledifolius</i>	Curleaf mountain mahogany	Xeric	Evergreen	12 x 8
<i>Chilopsis linearis</i>	Desert willow	Native	Deciduous	20 x 20
<i>Juniperus monosperma</i>	Oneseed juniper	Native	Evergreen	15 x 15
<i>Juniperus scopulorum</i>	Rocket Mountain juniper, female	Xeric	Evergreen	40 x 20
<i>Juniperus virginiana</i>	Juniper, female	Xeric	Evergreen	20 x 10
<i>Leucana retusa</i>	Golden ball leadtree	Xeric	Deciduous	15 x 15
<i>Melia azedarach</i>	Chinaberry	Xeric	Deciduous	25 x 20
<i>Prosopis glandulosa</i>	Honey mesquite	Xeric	Deciduous	25 x 30
<i>Prosopis pubescens</i>	Screwbean mesquite	Xeric	Deciduous	20 x 20
<i>Prosopis torreyana</i>	Western honey mesquite	Xeric	Deciduous	18 x 20
<i>Prosopis velutina</i>	Velvet mesquite	Xeric	Deciduous	20 x 25
<i>Quercus grisea</i>	Gray oak	Xeric	Evergreen	30 x 30
<i>Quercus suber</i>	Cork oak	Xeric	Evergreen	30 x 30
<i>Quercus turbinella</i>	Shrub live oak	Xeric	Evergreen	18 x 20
<i>Sambucus mexicana</i>	Mexican elder	Xeric	Deciduous	20 x 25
<i>Sapindus drummondii</i>	Western soapberry	Xeric	Deciduous	30 x 30
<i>Zizyphus jujuba</i>	Jujube	Xeric	Deciduous	25 x 25

CHAPTER 4 – GENERAL REGULATIONS

B – ~~NATIVE PLANT LIST~~ A & ~~XERIC PLANT LIST~~ B

TABLE 5: PLANT LIST (SHRUBS)

SCIENTIFIC NAME	COMMON NAME	NATIVE OR XERIC	DECIDUOUS OR EVERGREEN	APPROX. HEIGHT X WIDTH AT MATURITY (IN FT.)
Agave sp.	Agave	Native	Evergreen	varies
Artemisia filifolia Torr	Sand sage	Native	Evergreen	3 x 3
Atriplex canescens	Fourwing saltbrush	Native	Deciduous	5 x 5
Brickellia californica	California brickellbush	Native	Deciduous	3 x 3
Dalea sp.	Purple sage	Native	Deciduous	5 x 5
Dasyliirion sp.	Sotol	Xeric	Evergreen	5 x 5
Fallugia paradoxa	Apache plume	Native	Deciduous	5 x 5
Fouquieria splendens	Ocotillo	Xeric	Deciduous	15 x 10
Krascheninnikovia lanata	Winterfat	Native	Deciduous	5 x 5
Nolina microcarpa	Beargrass	Xeric	Evergreen	5 x 6
Opuntia sp.	Prickly pear	Native	Evergreen	varies
Rhus trilobata	Skunkbush sumac	Native	Deciduous	3 x 3
Ribes sp.	Gooseberry	Native	Deciduous	5 x 3
Yucca sp.	Yucca	Native	Evergreen	varies

B – ~~NATIVE PLANT LIST~~ ~~A & XERIC PLANT LIST~~ B

TABLE 5: PLANT LIST (FORBS, GRASSES, AND GROUNDCOVERS)

SCIENTIFIC NAME	COMMON NAME	NATIVE OR XERIC	APPROX. HEIGHT X WIDTH AT MATURITY (IN INCHES)
<i>Abronia villosa</i>	Sand verbena	Native	1 x 4
<i>Andropogon saccharoides</i>	Silver beardgrass	Native	2.5 x 2
<i>Aristida purpurea</i>	Purple threeawn	Native	1 x 1
<i>Artemisia ludoviciana</i>	Prairie sage or white sagebrush	Native	3 x 3
<i>Asclepias speciosa</i>	Showy milkweeds	Native	2 x 3
<i>Baileya multiradiata</i>	Desert marigold	Native	varies
<i>Bouteloua curtipendula</i>	Sideoats grama	Native	2 x 1
<i>Bouteloua gracilis</i>	Blue grama	Native	1 x 1
<i>Bouteloua eriopoda</i>	Black grama	Native	1 x 1
<i>Elymus elymoides</i>	Bottlebrush squirreltail	Native	varies
<i>Eriogonum annuum</i>	Annual buckwheat	Xeric	1-5 x 2
<i>Gaillardia pulchella</i>	Firewheel	Native	varies
<i>Hilaria jamesii</i>	Galleta	Native	2 x 1
<i>Linum perenne lewisii</i>	Blue flax	Xeric	2 x 2
<i>Mirabilis</i> sp.	Four o'clock	Native	1 x 4
<i>Muhlenbergia porteri</i>	Bush muhly	Native	varies
<i>Oenothera</i> sp.	Evening primrose	Native	1.5 x 4
<i>Oryzopsis hymenoides</i>	Indian ricegrass	Native	varies
<i>Parthenium incanum</i>	Mariola	Native	varies
<i>Penstemon ambiguous</i>	Beardtongue	Native	2 x 1
<i>Phacelia integrifolia</i>	Scorpionflower	Native	1 x 1
<i>Philostrophe taelina</i> (also <i>Psilostrophe tagetina</i>)	Paperflower	Native	3 x 3
<i>Sporobolus cryptandrus</i>	Sand dropseed	Native	varies
<i>Zinnia grandiflora</i>	Desert zinnia	Xeric	varies

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B – NATIVE PLANT LIST A & XERIC PLANT LIST B

Native Plant List A

List of Plant Species of Petroglyph National Monument - Plants found by Bleakly during survey from August 1994 through September 1995. One hundred and ninety-two (192) plants from 40 families were identified. Arrangement is alphabetical by family, genus, and species with some synonyms and common names. An asterisk (*) before the name indicates plants listed in Barlow-Irick (1993). Nomenclature according to Kartesz (1994). Common names from various sources. Number of species in each family are in parentheses after family name. A "pound sign" (#) indicates that a voucher is housed at the UNM Herbarium.

ADIANTACEAE Maidenhair Fern Family (1)
Cheilanthes feei T. Moore SLENDER LIPFERN #

AGAVACEAE Agave or Yucca Family (1)
Yucca glauca Nutt. SMALL SOAPWEED

AMARANTHACEAE Pigweed Family (3)
Amaranthus acanthochiton Sauer GREENSTRIPE #
Amaranthus wrightii S. Wats. WRIGHT'S AMARANTH #
Tidestromia lanuginosa (Nutt.) Standl. WOOLLY TIDESTROMIA

ANACARDIACEAE Sumac Family (1)
Rhus trilobata Nutt. SKUNKBUSH, SKUNKBUSH SUMAC

APIACEAE (=UMBELLIFERAE) Parsley or Carrot Family (1)
Cymopterus acaulis (Pursh) Raf. var. fendleri (Gray)
Goodrich (Cymopterus fendleri Gray) FENDLER SPRINGPARSLEY #

ASCLEPIADACEAE Milkweed Family (1)
Asclepias subverticillata (Gray) Vail WHORLED MILKWEED

ASTERACEAE (=COMPOSITAE) Sunflower Family (42)
Acourtia nana (Gray) Reveal & King (Perezia nana Gray) DWARF
DESERT HOLLY, DWARF DESERTPEONY #
Aphanostephus ramosissimus DC. PLAINS DOZEDAISY #
Artemisia bigelovii Gray BIGELOW'S SAGEBRUSH #

Artemisia filifolia Torr. SANDSAGE, SAND SAGEBRUSH
Artemisia frigida Willd. FRINGED SAGE
Artemisia ludoviciana Nutt. ssp. albula (Woot.) Keck WHITE SAGEBRUSH #
* Bahia absinthifolia Benth. #
* Bahia dissecta (Gray) Britt.
Bahia pedata Gray BLUNTSCALE BAHIA #
Baileya multiradiata Harvey & Gray ex Gray DESERT MARIGOLD #
* Berlandiera lyrata Benth.
Brickellia californica (Torr. & Gray) Gray CALIFORNIA BRICKELLBUSH #
Chaetopappa ericoides (Torr.) Nesom (Leucelene ericoides (Torr.) Greene)
WHITE ASTER

* Chrysothamnus nauseosus (Pallas ex Pursh) Britt. ssp. bigelovii (Gray)
Hall & Clements #
Chrysothamnus pulchellus (Gray) Greene ssp. pulchellus
SOUTHWESTERN RABBITBRUSH #
Coryza canadensis (L.) Cronq. CANADIAN HORSEWEED
* Gaillardia pinnatifida Torr. #
Gaillardia pulchella Foug. FIREWHEEL
Gutierrezia sarothrae (Pursh) Britt. & Rusby BROOM SNAKEWEED #
Helianthus petiolaris Nutt. PRAIRIE SUNFLOWER
Hymenopappus flavescens Gray var. canotomentosus Gray YELLOW-FLOWERED
WHITE RAGWEED, COLLEGEFLOWER #
Machaeranthera canescens (Pursh) Gray HOARY TANSYASTER #
* Machaeranthera gracilis (Nutt.) Shinn. (Haplopappus gracilis
(Nutt.) Gray) #
Machaeranthera pinnatifida (Hook.) Shinn. (Haplopappus spinulosus
(Pursh) DC.) LACY TANSYASTER
Malacothrix fendleri Gray FENDLER DESERTDANDELION #
Melampodium leucanthum Torr. & Gray PLAINS BLACKFOOT #
* Microseris sp. Palafoxia sphacelata (Nutt. ex Torr.) Cory OTHAKE #
Parthenium incanum Kunth MARIOLA #
Pectis angustifolia Torr. var. angustifolia NARROWLEAF PECTIS #
Psilostrophe tagetina (Nutt.) Greene WOOLLY PAPERFLOWER
Sanvitalia abertii Gray ABERT'S CREEPING ZINNIA #

CHAPTER 4 – GENERAL REGULATIONS

B – NATIVE PLANT LIST A & XERIC PLANT LIST B

Senecio flaccidus Less. var. *flaccidus* (*Senecio douglasii* DC. ssp. *longilobus* (Benth.) L. Benson THREADLEAF GROUNDSEL #
Senecio multicapitatus Greenm. ex Rydb. RAGWORT GROUNDSEL #
Senecio riddellii Torr. & Gray RIDDELL'S RAGWORT OR GROUNDSEL #
Stephanomeria pauciflora (Torr.) A. Nels. BROWNPLUME WIRELETTUCE #
Thelesperma megapotamicum (Spreng.) Kuntze HOPI TEA, GREENTHREAD
Thymophylla acerosa (DC.) Strother (*Dyssodia acerosa* DC.) PRICKLYLEAF DOGWEED #
Verbesina encelioides (Cav.) Benth. & Hook. f ex Gray GOLDENCROWNBEARD, COWPEN DAISY
Xanthium strumarium L. COCKLEBUR
Zinnia grandifolia Nutt. ROCKY MOUNTAIN ZINNIA #

BIGNONIACEAE Bignonia Family (1)
Chilopsis linearis (Cav.) Sweet DESERT WILLOW

BORAGINACEAE Borage Family (4)
Cryptantha cinerea (Greene) Cronq. var. *cinerea* (*C. jamesii* Payson var. *multicaulis* (Torr.) Payson) JAMES' CATSEYE #
Cryptantha crassisejala (Torr. & Gray) Greene var. *elachantha* I.M. Johnst. THICKSEPAL CATSEYE #
Heliotropium convolvulaceum (Nutt.) Gray PHLOX HELIOTROPE
Lappula occidentalis (S. Wats.) Greene var. *occidentalis* (*L. redowskii* (Hornem.) Greene) FLATSPINE STICKSEED #

BRASSICACEAE (=CRUCIFERAE) Mustard Family (7)
Descurainia pinnata (Walt.) Britt. WESTERN TANSYMUSTARD #
Dimorphocarpa wislizenii (*Dithyrea wislizenii*)

SPECTACLE POD, TOURISTPLANT
Lepidium lasiocarpum Nutt. var. *lasiocarpum* SHAGGYFRUIT PEPPERWEED #
* *Lepidium montanum* Nutt.
Lesquerella fendleri (Gray) S. Wats. FENDLER BLADDERPOD #

CACTACEAE Cactus Family (6)
Echinocereus fendleri (Engelm.) F. Seitz PINKFLOWERED HEDGEHOG CACTUS
Escobaria vivipara (Nutt.) Buxbaum (*Coryphantha vivipara* (Nutt.) Britt. & Rose) SPINYSTAR
Opuntia clavata Engelm. CLUB CHOLLA
Opuntia imbricata (Haw.) DC. TREE or WALKINGSTICK CHOLLA
Opuntia phaeacantha Engelm. BROWNSPINE PRICKLYPEAR
Opuntia polyacantha Haw. PLAINS PRICKLYPEAR

CAPPARACEAE Caper Family (1)
Polanisia dodecandra (L.) DC. ssp. *trachysperma* (Torr. & Gray) Ilitis SANDYSEED CLAMMYWEED #

CHENOPODIACEAE Goosefoot Family (5)
Atriplex canescens (Pursh) Nutt. FOURWING SALTBUCH
* *Chenopodium denticatum* A. Nels. #
Chenopodium fremontii S. Wats. FREMONT'S GOOSEFOOT #
Krascheninnikovia lanata (Pursh) Guldenstaedt (*Ceratoides lanata* (Pursh) J.T. Howell; *Eurotia lanata* (Pursh) Moq.) WINTERFAT

CUCURBITACEAE Gourd Family (1)
Cucurbita foetidissima Kunth COYOTE or MISSOURI GOURD

CUPRESSACEAE Cypress Family (1)
Juniperus monosperma (Engelm.) Sarg. ONESEED JUNIPER

EPHEDRACEAE Jointfir Family (1)
Ephedra torreyana S. Wats. TORREY JOINTFIR or MORMON TEA #

B – NATIVE PLANT LIST A & XERIC PLANT LIST B

EUPHORBIACEAE Spurge Family (7)

Chamaesyce parryi (Engelm.) Rydb. PARRY'S SANDMAT or SPURGE #

Chamaesyce serpyllifolia (Pers.) Small THYMELEAF SANDMAT or SPURGE #

Chamaesyce serrula (Engelm.) Woot. & Standl. SAWTOOTH SANDMAT or SPURGE #

Croton texensis (Klotzsch) Muell.-Arg. TEXAS CROTON #

Euphorbia dentata Michx. TOOTHED SPURGE #

* *Tragia amblyodonta* (Muell.-Arg.) Pax & K. Hoffmann

Tragia ramosa Torr. BRANCHED NOSEBURN

FABACEAE (=LEGUMINOSAE) Bean or Pea Family (14)

Astragalus amphioxys Gray var. *amphioxys* CRESCENT MILKVETCH #

Astragalus ceramicus Sheld. var. *ceramicus* PAINTED MILKVETCH #

Astragalus lentiginosus Dougl. var. *diphysus* (Gray) Jones SPECKLEDPOD MILKVETCH #

Astragalus nuttallianus DC. SMALLFLOWERED MILKVETCH #

Caesalpinia jamesii (Torr. & Gray) Fisher JAMES' HOLDBACK

Dalea compacta Spreng. var. *compacta* COMPACT PRAIRIECLOVER #

Dalea formosa Torr. FEATHERPLUME

Dalea lanata Spreng. var. *terminalis* (Jones) Barneby WOOLLY PRAIRIECLOVER #

Dalea nana Torr. ex Gray var. *carnescens* Kearney & Peebles DWARF PRAIRIECLOVER #

Dalea scariosa S. Wats. (*Petalostemon scariosa* (S. Wats.) Wemple)

ALBUQUERQUE

PRAIRIECLOVER #

Hoffmannsegia glauca (Ortega) Eifert INDIAN RUSHPEA

Pediomelum hypogaeum (Nutt.) Rydb. (*Psoralea hypogaea* Nutt.) SCURFPEA #

Psoralea scoparius (Gray) Rydb. (*Dalea scoparia* Gray) BROOM

DALEA; PURPLE SAG

FUMARIACEAE Fumitory Family (1)

Corydalis aurea Willd. GOLDEN CORYDALIS, SCRAMBLED EGGS,

GOLDENSMOKE, BUTTER AND EGGS

GROSSULARIACEAE Gooseberry Family (1)

Ribes sp. GOOSEBERRY

HYDROPHYLLACEAE Waterleaf Family (4)

Nama hispidum Gray BRISTLY NAMA

Phacelia crenulata Torr. var. *crenulata* CLEFTLEAF WILDHELIOSTROPE #

Phacelia integrifolia Torr. GYPSUM SCORPIONWEED #

Phacelia ivesiana Torr. IVES PHACELIA #

LINACEAE Flax Family (2)

Linum aristatum Engelm. BRISTLE FLAX

* *Linum australe* Heller #

LOASACEAE Stickleaf Family (2)

Mentzelia albicaulis (Dougl.) Dougl. WHITESTEM BLAZINGSTAR

Mentzelia pumila (Nutt.) Torr. & Gray DWARF MENTZELIA #

MAIVACEAE Mallow Family (5)

Sida abutilifolia P. Mill. (*Sida filicaulis* Torr. & Gray)

SPREADING FANPETALS #

* *Sida neomexicana* Gray

Spheralcea angustifolia (Cav.) G. Don ssp. *lobata* (Woot.) Kearney

COPPER GLOBEMALLOW #

Spheralcea hastulata Gray (*Spheralcea subhastata* Coul.)

SPEAR GLOBEMALLOW #

Spheralcea incana Torr. ex Gray GRAY GLOBEMALLOW #

NYCTAGINACEAE Four O'clock Family (7)

Abronia fragrans Nutt. ex Hook. FRAGRANT WHITE SAND VERBENA

* *Allionia choysia* Standl. #

Allionia incarnata L. TRAILING WINDMILLS #

Boerhavia spicata Choisy (B. *torreyana* (S. Wats.) Standl.) CREEPING

SPIDERLING

#

* *Mirabilis glabra* (S. Wats.) Standl. (*Oxybaphus glaber* S. Wats.) #

Mirabilis linearis (Pursh) Heimerl NARROWLEAF FOUR O'CLOCK

Selinocarpus diffusus Gray SPREADING MOONPOD #

CHAPTER 4 – GENERAL REGULATIONS

OLEACEAE Olive Family (1)

Menodora scabra Gray ROUGH MENODORA

ONAGRACEAE Evening Primrose Family (2)

Gaura coccinea Nutt. ex Pursh SCARLET BEEBLOSSOM

Oenothera pallida Lindl. PALE EVENINGPRIMROSE #

OROBANCHACEAE Broomrape Family (1)

Orobanche ludoviciana Nutt. (*O. multiflora* Nutt.) LOUISIANA BROOMRAPE #

PEDALIACEAE Sesame Family (1)

Proboscidea louisianica (P. Mill.) Thelleng COMMON DEVILSCRAW, DEVILSHORN, RAM'S HORN

PLANTAGINACEAE Plantain Family (1)

Plantago patagonica Jacq. (*P. purshii* Morris) WOOLLY PLANTAIN #

Plantago lanceolata L. NARROWLEAF PLANTAIN

POACEAE (=GRAMINAE) Grass Family (42)

Aristida adscensionis L. SIXWEEKS THREEAWN #

* *Aristida arizonica* Vasey

Aristida havardii Vasey HAVARD'S THREEAWN #

* *Aristida pansa* Woot. & Standl.

Aristida purpurea Nutt. var. *fendleriana* (Steud.) Vasey

FENDLER'S THREEAWN #

* *Aristida purpurea* Nutt. var. *neallyi* (Vasey) Allred #

* *Aristida purpurea* Nutt. var. *purpurea* #

* *Bothriochloa barbinodis* (Lag.) Heter #

Bothriochloa laguroides (DC.) Heter ssp. *torreyana* (Steud.) Allred & Gould
(*Andropogon saccharoides* Sw.) SILVER BEARDGRASS or SILVER BLUESTEM #

Bouteloua aristoides (H.B.K.) Griseb. var. *aristoides* NEEDLE GRAMA #

Bouteloua barbata Lag. var. *barbata* SIXWEEKS GRAMA #

Bouteloua curtipendula (Michx.) Torr. SIDEOATS GRAMA

Bouteloua eriopoda (Torr.) Torr. BLACK GRAMA #

Bouteloua gracilis (Willd. ex Kunth) Lag. ex Griffiths BLUE GRAMA

Bouteloua hirsuta Lag. HAIRY GRAMA

* *Cenchrus carolinianus* Walt. (*Cenchrus incertus* M.A. Curtis)

* *Digitaria californica* (Benth.) Henr. #

Elymus elymoides (Raf.) Swezey (*Sitanion hystrix* (Nutt.) J.G. Sm.; *Elymus longifolius* (J.G. Sm.) Gould) SQUIRRELTAIL #

Enneapogon desvauxii Beauv. NINEAWN PAPPUSGRASS #

Erioneuron pulchellum (Kunth) Tateoka (*Dasyochloa pulchella* (Kunth) Willd.

ex Rydb.) FLUFFGRASS, LOW WOOLLYGRASS #

Hilaria jamesii (Torr.) Benth. (*Pleuraphis jamesii* Torr.) GALLETA #

* *Koeleria macrantha* (Ledeb.) J.A. Schultes

(*Koeleria cristata* auct. p.p. non Pers.)

* *Lycurus phleoides* Kunth

Monroa squarrosa (Nutt.) Torr. (*Munroa squarrosa* (Nutt.) Torr.)

FALSE BUFFALOGRASS #

* *Muhlenbergia tenacea* (Buckl.) A.S. Hitchc.

Muhlenbergia arenicola Buckl. SAND MUHLY #

Muhlenbergia porteri Scribn. BUSH MUHLY #

Muhlenbergia pungens Thurb. SANDHILL MUHLY #

Muhlenbergia torreyi (Kunth) A.S. Hitchc. ex Bush RING MUHLY

Oryzopsis hymenoides (Roemer & J.A. Schultes)

Ricker ex Piper INDIAN RICEGRASS

* *Poa bigelovii* Vasey & Scribn.

Scleropogon brevifolius Phil. BURROGRASS #

Setaria leucopila (Scribn. & Merr.) K. Schum.

STREAMBED BRISTLEGRASS #

* *Setaria lutescens* (Weigel) F.T. Hubbard ?

Sporobolus contractus A.S. Hitchc. SPIKE DROPSEED

Sporobolus cryptandrus (Torr.) Gray SAND DROPSEED #

* *Sporobolus flexuosus* (Thurb. ex Vasey) Rydb. #

Sporobolus giganteus Nash GIANT DROPSEED #

Stipa comata Trin & Rupr. var. *comata* NEEDLEANDTHREAD #

* *Stipa neomexicana* (Thurb. ex Coult.) Scribn.

Stipa spartea Trin. PORCUPINEGRASS #

Vulpia octoflora (Walt.) Rydb. (*Festuca octoflora* Walt.)

SIXWEEKS FESCUE #

B – NATIVE PLANT LIST A & XERIC PLANT LIST B

POLEMONIACEAE Phlox Family (1)

Ipomopsis pumila (Nutt.) V. Grant DWARF GILIA #

POLYGONACEAE Knotweed Family (4)

Eriogonum abertianum Torr. var. *abertianum* ABERT BUCKWHEAT #

* *Eriogonum effusum* Nutt.

Eriogonum polycladon Benth. SORREL BUCKWHEAT #

Eriogonum rotundifolium Benth. ROUNDLEAF BUCKWHEAT #

Rumex hymenosepalus Torr. CANAIGRE; DOCK #

PORTULACACEAE Purslane Family (1)

Portulaca sp. PURSLANE

RANUNCULACEAE Crowfoot Family (1)

Delphinium sp. LARKSPUR

ROSACEAE Rose Family (1)

Fallugia paradoxa (D. Don) Endl. ex Torr. APACHE PLUME

SALICACEAE Willow Family

Salix sp. WILLOW

SCROPHULARIACEAE Figwort Family (3)

Epixiphium wislizenii (Engelm. ex Gray) Munz (*Maurandya wislizenii*

Engelm. ex Gray) BALLOONBUSH #

Penstemon ambiguus Torr. GILIA PENSTEMON or BEARDTONGUE

* *Penstemon* sp.

SOLANACEAE Potato Family (3)

Chamaesaracha coronopus (Dunal) Gray GREENLEAF FIVE EYES #

Datura innoxia P. Mill. THORNAPPLE; JIMSONWEED #

Lycium pallidum Miers PALE WOLFBERRY

Nicotiana trigonophylla Dunal DESERT TOBACCO #

Physalis acutifolia (Miers) Sandw. (*P. wrightii* Gray) SHARPLEAF

GROUNDCHERRY #

Solanum elaeagnifolium Cav. SILVERLEAF NIGHTSHADE

VERBENACEAE Vervain Family (2)

Aloysia wrightii Heller ex Abrams WRIGHT'S BEEBRUSH #

* *Tetradlea coulteri* Gray #

ZYGOPHYLLACEAE Caltrop Family (2)

Kallstroemia sp. CALTROP

Xeric Plant List B

A list of official xeric or low-water plant species periodically updated by the Albuquerque Bernalillo County Water Utility Authority (ABCWUA).

To obtain the most current information, contact ABCWUA:

Telephone: 505-842-WATR

Website: <http://www.abcwua.org/pdfs/xeriplantlist.pdf>

For additional information, see ABCWUA's

How-To Guide to Xeriscaping:

<http://www.abcwua.org/content/view/full/63/>

C – CONSTRUCTION MITIGATION

Any damage to the vegetation, slope, or placement of boulders due to or related to construction shall be mitigated as provided herein.

Standard CM-1: In order to minimize opportunities for fugitive dust during site development and construction, development shall comply with the following standards:

- a. All development ~~over~~ $\frac{3}{4}$ acres or over [6] must comply with the joint Albuquerque and Bernalillo County Fugitive Dust Ordinance found in the New Mexico Administrative Code 20.11.20.
- b. All development must comply with the City Drainage Control Ordinance and the Flood Hazard Control Ordinance, including a requirement for an approved Erosion and Settlement Control Plan prior to being issued a grading permit.
- c. Due to the area's proximity to the Petroglyph National Monument and the importance of protecting petroglyphs from fugitive dust, preferred methods for soil stabilization should be incorporated where appropriate.
- d. For all non-residential and mixed-use developments, grading permits shall only be issued concurrently with building permits. For developments ~~over~~ $\frac{3}{4}$ of an acre or over [6], applicants shall provide proof of a 20.11.20 NMAC Fugitive Dust Control Permit from the Environmental Health Department prior to being issued a building permit.
- e. For exclusively residential developments, a grading permit shall only be issued after a preliminary plat and an Erosion and Sediment Control Plan have been approved.
- f. In situations that require grading without a building permit or a preliminary plat, or in advance of a building permit or a preliminary plat, the City Engineer may grant a grading permit if an applicant makes a special request, provided that the requirements in items (a) through (c) above are met, as well as other requirements from both the City Engineer and the City Environmental Health Department. [7]
- g. Grading within public rights-of-way or public easements is exempt.

~~Grading permits shall only be issued concurrently with building permits for all non-residential and mixed-use developments, as well as residential developments over two lots. Grading permits for commercial lot developments in the Volcano Trails Sector Development Plan area will be issued concurrently with the respective commercial building permits. Grading permits for residential developments greater than 10 acres shall require soil stabilization, approved by the Environmental Health Department, which shall be applied to the disturbed area within three months after grading of the site commences. Grading within public rights-of-way or public drainage easements is exempt. [5]~~

Standard CM-2: Prior to beginning construction, the property owner shall construct a temporary silt fence at the site boundary adjacent to sensitive lands (i.e. the Escarpment Buffer, Major Open Space Area, archeological site, or public or private conservation area to be maintained in natural desertscape) to effectively protect them from heavy equipment and vehicles. Photographs of the site in its original condition shall be submitted with the application for building permit and subdivision and/or site development plan.

Standard CM-3: Public- and private-sector projects facing the Escarpment and adjacent to archeological sites must include geotechnical data and analysis that demonstrate to the satisfaction of the City Engineer that proposed trenching or blasting will not affect the face of the Escarpment, whether by potentially causing erosion or caving of the slopes and boulders, threatening public safety or welfare, or otherwise damaging archeological resources.

Standard CM-4: In the selection of alignment and in site design, grading plans shall demonstrate that cut and fill has been kept to a minimum consistent with the standards in this Plan. Generally, the overall topography of the site is not to be substantially altered. ~~Development must comply with the joint Albuquerque-Bernalillo County Fugitive Dust Ordinance found in the New Mexico Administrative Code 20.11.20. [5]~~

Standard CM-5: Replacement of boulders shall approximate the original location, angle, and surface exposure. Revegetation to approximate original cover with appropriate native or naturalized plants as identified in **Chapter 4 General Regulation B – Plant List A** is required within 90 days of project completion. A deviation may be granted by the Planning Director or his/her designee if the type of vegetation or time of year make revegetation within 90 days impossible. For infrastructure projects on public lands, the construction company shall post a warranty bond effective for three years after completion of the infrastructure work to insure successful revegetation.

Standard CM-6: The City shall be responsible for restoring existing damaged areas that lie within Major Public Open Space. The property owner shall be responsible for restoring damaged areas on lands accepted by the City to meet open space requirements if that damage occurred after the adoption of the Volcano Trails Sector Development Plan; this shall occur prior to title transfer if the land is to be deeded to the City and shall be an ongoing responsibility of the property owner if the land remains private open space.

Standard CM-7: Existing cuts that are used as trail locations shall be stabilized and revegetated at the time of trail construction.

Standard CM-8: As Major Public Open Space is acquired by the City, damaged areas shall be protected from further abuse and reseeded.

D – RAINWATER DESIGN & MANAGEMENT STANDARDS

Improved naturalistic channel design shall retain as much undisturbed desert vegetation and rock formations insofar as practicable.

Standard RDM-1: Channel treatments shall meet the following requirements:

1. Limited stabilization of natural channels, according to the policies contained in the “Facility Plan for Arroyos,” unless such treatment is determined to be infeasible by the City Hydrologist or the Albuquerque Metropolitan Area Flood Control Authority (AMAFCA) as appropriate.
2. Use of many small, unobtrusive structures, such as check dams or small drop structures, rather than larger, more obtrusive structures, when structural solutions are required.
3. Use of materials in treated channels that blend visually with the Escarpment and adjacent open space. Naturalistic treatments are the preferred treatment types.
4. Protection of canyons from erosion through control of developed flows and through stabilization techniques that are consistent with the visual character of the open space.

Standard RDM-2: Developed flows shall be managed to minimize their impact on Major Public Open Space, Northern Geologic Window, archeological sites, and the Escarpment. The potential impacts of water retention shall be thoroughly studied prior to use of detention areas to control flows. Rainwater detention ponds shall be fully lined. Developed flows into the Petroglyph National Monument shall not be permitted in excess of, or more concentrated than, natural flows.

Standard RDM-3: Within large areas of open space, developed flows shall be modified through check dams or other means to approximate undeveloped flows to minimize impacts on the Escarpment and to minimize the intensity of channel treatment required. The impact of check dams as a method of controlling flows shall be thoroughly studied prior to their use.

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